

ORDINANCE NO. 2012-30

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BUDA, TEXAS ADOPTING THE BUDA 2012 PARKS, RECREATION, TRAILS AND OPEN SPACE MASTER PLAN TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL.

WHEREAS, Chapter 213 of the Local Government Code authorizes the City to adopt a comprehensive plan for the long-range development of the City; and

WHEREAS, on December 6, 2011, the City Council approved an Agreement for Professional Services with Halff Associates for preparation of the Parks, Recreation, Trails and Open Space Master Plan; and

WHEREAS, the Parks, Recreation, Trails and Open Space Master Plan will include:

- (1) The Need to Plan for Parks in Buda
- (2) Current Context of Buda
- (3) Plan Development Process and Public Input
- (4) Park Standards and Existing Inventory
- (5) Needs Assessment
- (6) Prioritization of Needs and Recommendations
- (7) A Trails Plan for Buda
- (8) A Plan for City Park
- (9) Plan Implementation; and

WHEREAS, the master plan will cover all aspects of parks, recreation, trails and open space and will serve as a guideline for prioritizing projects and fiscal planning of quality of life enhancements in the City of Buda for the next 10 years; and

WHEREAS, the City Council approved the Buda 2030 Comprehensive Master Plan on October 18, 2011 and the Buda 2012 Parks, Recreation, Trails, and Open Space Master Plan will effectively integrate with the comprehensive plan's goals, objectives, and actions as they relate to parks and recreation in Chapter 5; and

WHEREAS, on October 24, 2012 the Parks and Recreation Commission held a public hearing on the Parks, Recreation, Trails and Open Space Master Plan and reviewed and recommended approval to the Planning and Zoning Commission and the City Council of the City of Buda; and

WHEREAS, on November 24, 2012 the Planning and Zoning Commission held a public hearing on the Parks, Recreation, Trails and Open Space Master Plan and reviewed and recommended approval to the City Council of the City of Buda; and

WHEREAS, a hearing(s) was held at which the public was given an opportunity to give testimony and present written evidence as required by law;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BUDA, TEXAS, THAT:

Section 1. That the Parks, Recreation, Trails and Open Space Master Plan, shown in Exhibit A, is hereby adopted and supersedes any previous existing parks master plans.

PASSED AND APPROVED on first reading by an affirmative vote of the City Council of the City of Buda, this 4th day of December, 2012.

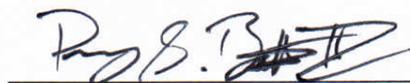
PASSED, APPROVED AND ADOPTED on second reading by an affirmative vote of the City Council of the City of Buda, this 18th day of December, 2012.

APPROVED:



Mayor

ATTEST:



Danny S. Batts, City Secretary

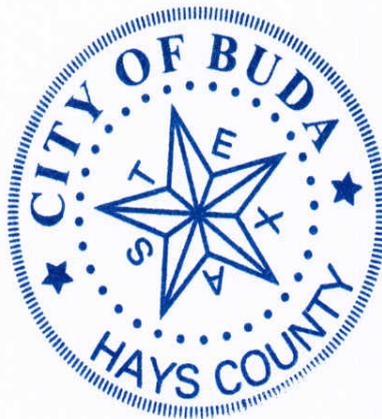


EXHIBIT "A"



BUDA

texas

ENHANCING OUR OPPORTUNITIES FOR PLAY 2012

parks • recreation • trails • open space • master plan



December 2012

developed in association with **HALFF ASSOCIATES, INC.**

ENHANCING OUR OPPORTUNITIES FOR PLAY

The 2012 Buda Parks, Recreation, Trails and Open Space Master Plan



December 2012



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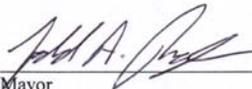
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APPROVED:


Mayor

ATTEST:


Danny S. Batts, City Secretary



December 21, 2012

City of Buda
Mr. Jack Jones, CPRP
Director of Parks and Recreation
880 Main Street
Buda, Texas 78610

Reference: Parks, Recreation, Trails and Open Space Master Plan

Dear Mr. Jones:

Half Associates, Inc. is pleased to submit the final document of the Parks, Recreation, Trails and Open Space Master Plan. This document is the culmination of an extensive planning process involving the elected officials, staff, Parks and Recreation Commission, and most importantly the citizens of Buda. The plan's recommendations encompass the many varied components of Buda's parks system - from parks, athletic fields, aquatic facilities and trails to nature facilities and the preservation of open space. Our purpose has been to create a timeless document that represents the vision for the parks system over the next ten years. This document is intended to guide the parks system, but also incorporates flexibility in responding to unique opportunities as they arise.

We deeply appreciate the opportunity to have worked with you, your citizens and your staff, and we believe that this document will help guide Buda as it creates one of the best parks systems in the Central Texas area and the State of Texas.

Sincerely,
Half Associates, Inc.



Jim Carrillo, FAICP, ASLA
Vice President/Director of Planning



ACKNOWLEDGEMENTS

The Buda Parks, Recreation, Trails and Open Space Master Plan was developed by the City of Buda Parks and Recreation Department with the technical assistance and design help of Half Associates, Inc. Special thanks goes to the many residents, landowners, business owners, and community leaders for their insight and support throughout the duration of this study. The following individuals are recognized for the significant contributions to the preparation of the 2012 Parks, Recreation, Trails and Open Space Master Plan.

Current City Council

Todd Ruge, Mayor
Ron Fletcher, Place 1
vacant, Place 2
Jose Montoya, Place 3
George Haehn, Place 4
Eileen Altmiller, Place 5
Bobby Lane, Mayor Pro Tem, Place 6

Previous City Council

Sarah Mangham, Mayor
Ron Fletcher, Place 1
Todd Ruge, Place 2
Sandra Tenorio, Mayor Pro Tem, Place 3
Cathy Chilcote, Place 4
Dawn Schaeffer, Place 5
Bobby Lane, Place 6

City Staff

Kenneth Williams, City Manager
Brian LaBorde, Assistant City Manager
Chance Sparks, Director of Planning
Stanley Fees, City Engineer
Jack Jones, Director of Parks and Recreation

Parks and Recreation Commission

Debbie Dulski, Chair
Shirley Malone, Vice Chair
Kim Howell
Nancy Hart
Pam Lombardo
Jennielle Strother
Vincent Lecca



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CHAPTER 1

the need to plan for parks in buda



THE IMPORTANCE OF PARKS

The City of Buda is a very desirable place to live, work and play. When residents are asked what it is they like about Buda, it is invariably the small town feel that brought them here in the first place. This “small town feel” is an extremely important quality of the City that its residents wish to see preserved. In fact, one major fear of most residents is uncontrolled growth and over development which could lead to the destruction of the City’s character.

Buda experiences many pressures to develop. Developers see the opportunity to profit in a place that is attractive to new home buyers, with easy and close access to Austin, the adjacency of the major IH-35 freeway, excellent municipal facilities, a beautiful historic downtown, many recreational amenities, and a place that has a sense of being home. However,

“Growth is inevitable and desirable, but destruction of community character is not. The question is not whether your part of the world is going to change. The question is how.”

***Edward T. McMahon,
The Conservation Fund***

when such development happens without consideration for the character of the City, the need for open space, and planning for vital pedestrian connections, the quality of life in Buda will be compromised for everyone.

From its rural character to its modern recreational amenities, residents of Buda should feel proud to be part of a community that treasures and seeks to cultivate the health, safety, welfare and image of the City and its people. We all recognize that the quality of our lives is enhanced by the qualities of the place we live. In turn, that quality of life is reflected in greater economic returns and a great sense of optimism about that place.

Well developed parks and natural areas are often the first places

that visitors notice in a community. In fact, parks are one of the most visible elements of a city government at work, and can instill a strong sense of pride in its residents. A great park system lets both citizens and visitors know that the leadership of the city is interested in providing the best for its citizens. Buda’s leaders have long recognized that recreation plays an important role in the quality of life in Buda, and that a strong parks system provides for a healthier environment, improves the well being of children and adults, and remind us every day about what is attractive and fun in our city.

This master plan assesses what is great about parks and recreation opportunities in Buda, and what should be done to fill key needs to make the City an even better place to live. It is an ambitious plan, but one that can be tackled by all who live in Buda in readily achievable steps. It is a plan that will help preserve Buda as a great place to live, work and play. This document is the culmination of the park planning effort, and is intended to guide the staff and elected officials of the City as they decide how best to meet and prioritize the recreation needs of Buda over the next ten years.



THE NEED FOR PARKS, RECREATION, TRAILS AND OPEN SPACE PLANNING

The purpose of this 2012 Parks, Recreation, Trails and Open Space Master Plan is to provide an assessment of the Buda’s parks and recreation system. The park planning process allows the citizens of Buda to determine what their preferred park and recreation priorities should be for the next five to ten years.



A Parks, Recreation, Trails and Open Space Master Plan is exactly what its name indicates. **Parks** typically refer to the land dedicated to outdoor areas programmed for recreation. **Recreation** refers to both active and passive recreation activities including ball play, jogging, picnicking, etc. **Trails** refer to the pathways used for jogging, biking, walking, etc. and usually follow along a linear corridor or loop within a park. Many of the greenbelt corridors used for trails are **open space** lands that can be dedicated for conservation and preservation often due to their ecological value, wildlife habitat quality, cultural significance, and functional role to assist with flood management. Trail corridors also provide opportunities for bird watching, wildlife viewing, and contemplation. Strategically dedicating land as open space can contribute significantly to attaining and preserving a sense of rural character in the city environment.

The importance of open space is often overlooked since the concept of open space does not always fit the idea of land programmed for a particular recreational activity that would require regular landscape maintenance. However, the very reason for it not requiring regular attention can be a great asset, offering outdoor enjoyment, visual pleasure and ecological function at a minimum cost.

The 2012 Parks, Recreation, Trails and Open Space Master Plan aims to:

- Point out opportunities and recommend alternatives for improving the park system.
- Look at the potential growth of the City, assess where additional facilities will be needed as the City grows, and assess what types of facilities are most needed.
- Guide city staff in acquiring land to meet future park and open space needs, specifically in terms of community parkland.
- Prioritize key recommendations of the master plan so that the most significant deficiencies are addressed as quickly as feasibly possible.

- Guide city staff and city leaders in determining where and how parks funding should be allocated over the next five to ten years.

PARKS MASTER PLANNING PROCESS

The park planning process is illustrated by the diagram below. The most important component of the process is the input of Buda's citizens, staff and elected officials. This plan should fully embrace the needs, concerns, and dreams of the residents of Buda.

The plan is divided into sections that address existing facilities and key needs, then lays out recommendations for each type of park facility and major programs for the City. The plan divides each recommendation into two categories:

- The first part addresses those actions that are immediate and that should be undertaken to renovate or better utilize existing facilities. It also addresses actions that meet the needs of today's population.
- The second part of each set of recommendations addresses longer range, visionary actions that can maintain Buda's parks position as one of the best systems in Central Texas.

Steps in the Planning Process



MASTER PLAN TIMEFRAME

The master plan is formulated to address the timeframe from the year 2012 to 2022; however, it should be updated within five years if significant changes occur within the parks system.

Many of the recommendations of the master plan are valid for a period of more than ten years, and should be reassessed periodically. Per planning requirements issued by Texas Parks and Wildlife Department (TPWD), the master plan should be updated after a five year period, or before if any major developments occur which significantly alter the recreation needs of the City. The following steps are recommended for periodic review of this master plan:

- An annual workshop by the Buda Parks and Recreation Department staff with the Parks and Recreation Commission and the Buda City Council should be conducted to review progress and successes.

“The progressiveness of a city may be measured largely by its parks and recreational facilities, for these are the expression of the aspirations of the community beyond the purely material and obviously necessary things...But these have more than esthetic value and have been found to pay real, if indirect, dividends which may be translated into cash. The dividends come in attracting new citizens, in keeping the old citizens, and reducing the labor turnover, and in the tourist trade.”

**George Kessler, City Planner,
Plan for El Paso 1925**

- More frequent updates may be required if special needs or occurrences require modifications to the plan.
- In all cases, public involvement through citizen meetings, interviews, and workshops should be included in any updating process.

COMMUNITY AND CHARACTER OF BUDA

As part of the parks master plan, the overall context of Buda was evaluated and considered throughout the planning process. This includes the rich history and culture of Buda, the local economy, the demographics and population trends of the community, as well as the physical characteristics of the community that defines the City's image.

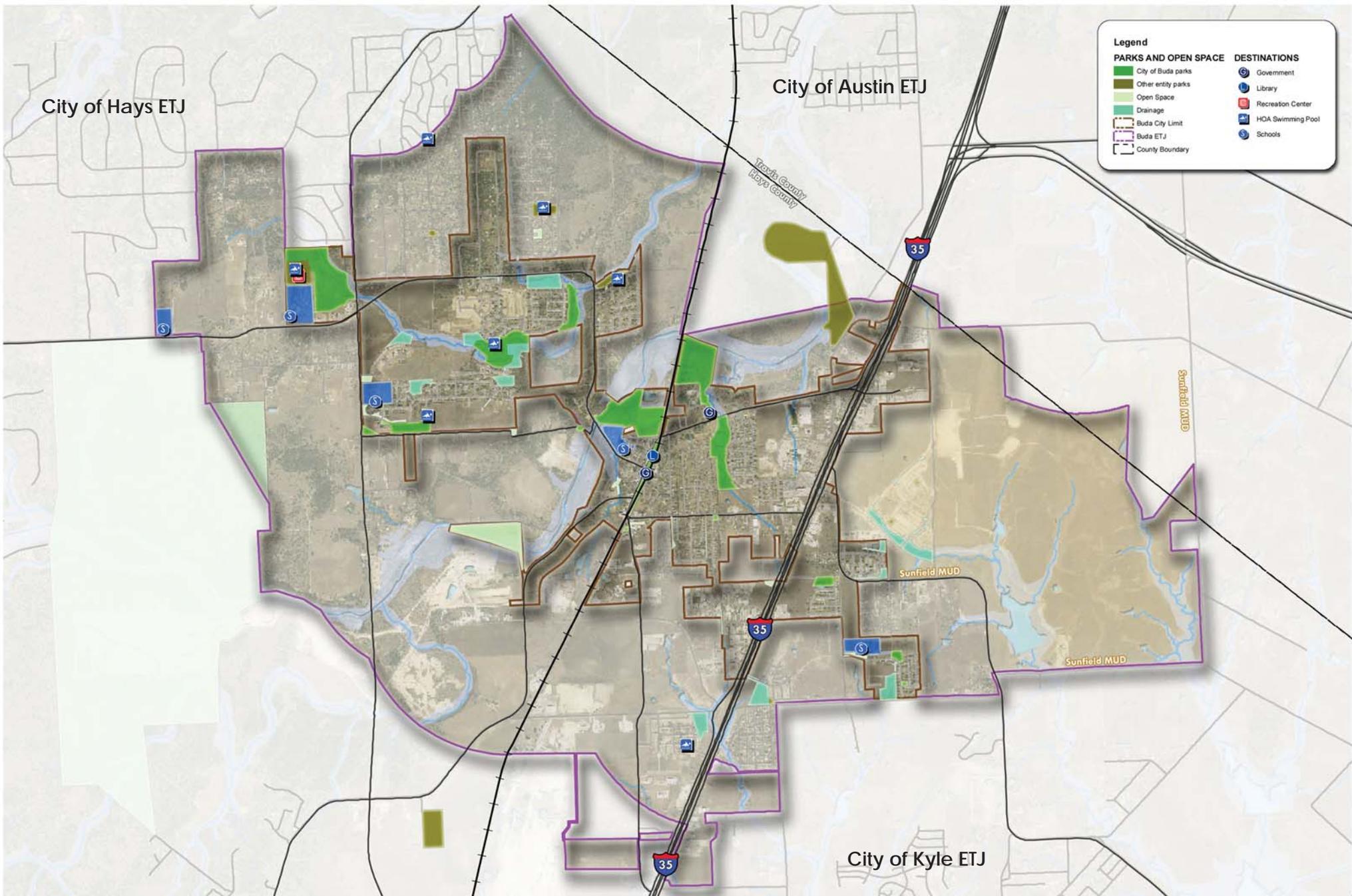
The unique aspects of a city determine its image and character, and cause a city to be set apart from others in the region. For the City of Buda, these aspects are found in the creeks and floodways, intimate older neighborhoods with many trees, historic downtown, the rural hill country landscape, and scenic roads throughout much of the City.

The creeks in Buda have tremendous aesthetic and recreational appeal. Ecologically the linear configuration of creeks makes them extremely valuable as landscape corridors for wildlife and migratory birds. Recognizing this ecological value leads to better management of these creeks, and the opportunity for education and various nature experiences. One excellent example of this in Buda is the potential for a linear trail along Onion Creek connecting downtown, City Park, and Stagecoach Park, or along Garlic Creek connecting Cullen Country, Garlic Creek, Elm Grove and Whispering Hollow neighborhoods.

Intimate neighborhoods in Buda are conducive to people walking the streets to get to school, visit their neighbors, and to enjoy area parks. The historic downtown has a charm that stretches beyond just the downtown area and into all parts of Buda with residents from the entire city coming to shop in the quaint stores, dine in the local restaurants, and visit City Park and the Library.

Large areas of rural land are unspoiled by development. Such landscapes are vanishing fast from the urban environment. Yet it is when such landscapes are offset by sensitive development that their real beauty is revealed. Scenic roads are found with trees growing along narrow streets with arching branches.





Buda City Limits

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



JURISDICTION AND RECREATION PROVIDER

The master plan analyzes the park needs of the City and Buda's Extra Territorial Jurisdiction (ETJ). The City was divided into three planning areas that correspond to the same planning areas used by the City's Comprehensive Plan (shown to the right).

The recommendations of this plan should be implemented by the City of Buda, and is intended to cover the entire city limits, as well as all the areas included in the ETJ. The city limits of Buda includes approximately 5.2 square miles, and the ETJ adds 15.1 square miles.

Buda is the primary governmental entity charged with providing recreational facilities for the citizens of Buda. Ancillary recreational facilities are provided by Hays Consolidated Independent School District on the school campuses, Home Owner Association (HOA) parks, Hays County, and the local YMCA. The implementation of this plan will be lead by the City of Buda and the Parks and Recreation Department. However, everyone in Buda has a vested interest in ensuring the parks system in the City continues to be one of the best in Central Texas. This includes:

- Primary responsibility - Buda Parks and Recreation Department
- All governmental entities, including the City of Buda, Hays County, Hays CISD, and other advisory group entities such as the Parks and Recreation Commission.
- The business community in Buda, including property owners, developers, commercial entities, and others.
- All citizens of Buda, no matter which part of the City they live in.
- Nearby residents of Hays County, since the Buda parks system can offer services to non-residents.

The parks master plan follows the general guidelines for local park master plans established by the Texas Parks and Wildlife Department (TPWD). This document will be filed with TPWD and

allows the City to better qualify for grant opportunities as they become available, especially in regards for trails and City Park.

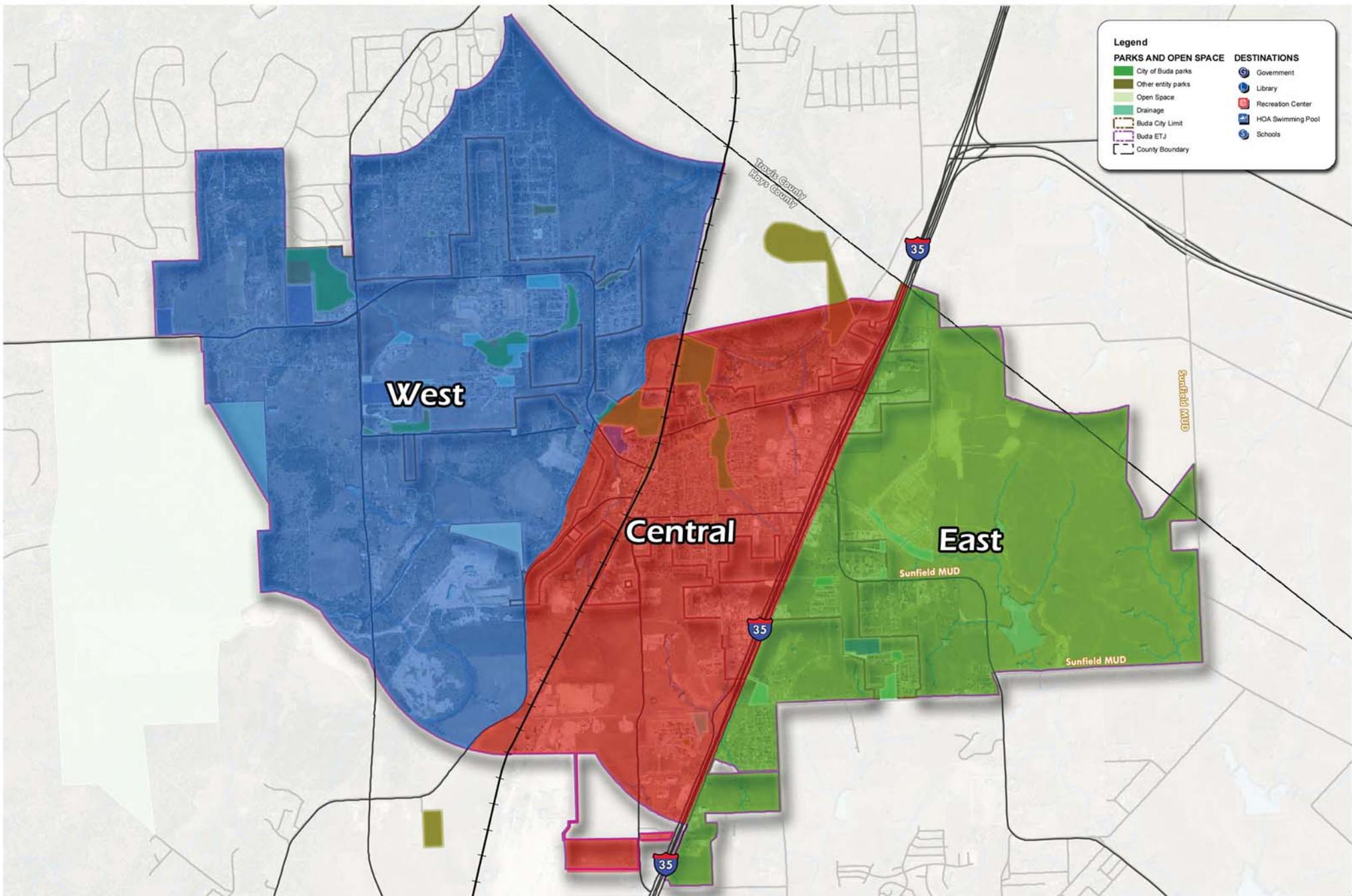
TRENDS IN THE RECREATION PROFESSION

The parks, open spaces, and recreational offerings of a city play a large role in defining quality of life, as well as a city's identity and image. Relative to the mobile nature of society today, especially in Texas, these offerings play a large role in determining where people choose to reside, which consequently affects population and economic growth. It is therefore important to understand regional and national trends related to parks and recreation facilities. Below, several of the most prevalent trends in the recreation profession are discussed. These are expected to carry forward into the near future and be relevant for the lifespan of this master plan.

The rate of change in the world and the United State is accelerating, and many of these trends are having a direct impact on recreation. These trends include:

- We have many more leisure activity choices. Greatly increased at-home leisure opportunities are available today, such as hundreds of channels on television, sophisticated game consoles, smart phones, and the internet.
- Safety is a great concern to parents. Many parents no longer allow their children to go to area parks unattended. In many places the use of neighborhood parks has gone down.
- We live in an era of instant gratification. We expect to have high quality recreation, and to be given activities that we will like. Cities must be willing to provide a much broader menu of recreation activities, but must draw the line if those activities become too costly.
- Through the media and internet, we are exposed to the best from around the world. Because of this, we expect our facilities and activities to be of the highest quality possible.





Buda Planning Areas

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



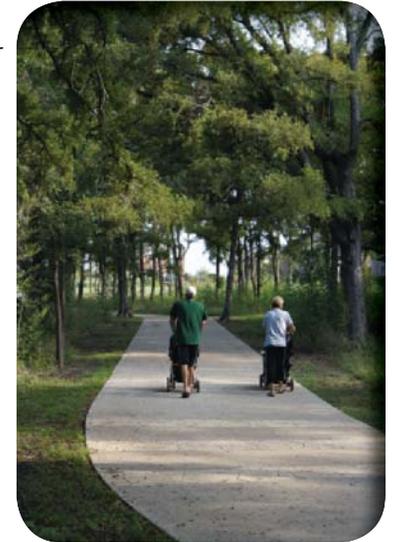
“A big factor which is affecting levels of sports participation is the ongoing attraction of electronic options which are sedentary in nature such as laptop computers, iPods, Internet chat rooms, hand-held games, computer games, and cell phones. While these items are dynamic innovations, they do consume large amounts of our life and, as a result, cut into the time that could have been set aside for recreational or athletic pursuits. People who want to get in shape need to make exercise a daily priority - just as the ancient Greeks emphasized the importance of a sound mind and a sound body.”

-Tom Cove, President of Sporting Goods Manufacturers Association, 2008-

- Concern over the health of our population is rapidly growing. Obesity is now recognized as a nationwide problem. Funding to reduce obesity rates by increasing outdoor activities may be more readily available in the future. It may also be a source of grants for parks and recreation programs and facilities.
- New revenue sources for public funding are difficult to come by. The federal surpluses briefly experienced at the turn of the century are now a thing of the past, and deficit spending is probable for the next decade. As a result, little help can be expected from the federal government, and even popular grant programs such as enhancement funds for trails and beautification are not always available.
- The needs of the Baby Boomer generation and an aging population will need to be addressed in the near future.

Outdoor Recreation Trends

- One of the most important and impacting trends in parks and recreation today is the increased demand for passive recreation activities and facilities. Passive recreation, as compared to active recreation, includes activities such as walking and jogging on trails, picnicking, enjoying nature, and bird watching. It focuses on individual recreation rather than organized high-intensity pastimes like team athletics (which has long been the focus of parks and recreation departments nationwide). People desire opportunities to use parks and open space on their own time and in their own way.
- Across the Central Texas region, the provision of trails is the top priority for citizens. Numerous surveys, public meetings, questionnaires, and in-person interviews have shown that people, on average, place the importance of trails above the provision of any other single type of recreation amenity or facility. Many factors contribute to this, including the demand for passive recreation (as discussed above), greater focus on health, rising transportation costs, and increasing funding opportunities for bicycle and pedestrian facilities.
- Related to the previous two trends, the protection of and access to open space and natural areas is growing in popularity across the nation. As people are increasingly using trails, they generally prefer to use trails that are located in scenic areas in order to enjoy being outdoors.
- While passive recreation is in greater demand, active recreation activities still play a large role in city parks and recreation systems. One major trend over the last few years has been changing participation rates in various City-sponsored



league sports. Examples of these changing participation rates include decreased participation in youth softball, dramatically increased participation in youth soccer, and the emergence of new league sports such as adult soccer, kickball, and youth lacrosse. That said, it continues to be the case that league sport participation rates vary greatly from city to city depending, in part, on activities offered by the school district and other organizations such as the YMCA, Boys and Girls Club, and in some cases churches.

Indoor Recreation Trends

- There is a movement away from providing multiple smaller recreation centers to providing a single large center that is within a 15 to 20 minute travel time of its users. This trend responds to increased diversity of programming that can be provided at these larger centers, while also being more convenient for families to recreate together. These types of centers also provide increased staff efficiency.
- There is a trend of combining separate senior activity areas within a large community center. Such an area with a distinct entrance separate from the main center entrance provides the desired autonomy of seniors while providing convenient access to the various opportunities in a recreation center including indoor walking track, warm water exercising, and adequately-sized fitness areas.
- Many cities today are seeking a higher fee structure to help offset operational costs. Observation reveals a range from a 50 to 60% operational cost recapture rate all the way to a 100% recapture rate across the State of Texas.
- University students today have elaborate recreation and aquatic facilities at their disposal. New graduates are leaving their universities with expectations for cities to provide comparable facilities. Quality of life is an important component of a new graduate's job search and residence decision, and has influenced what new centers will provide.

Environment and Recreation Trends

- As cities and towns continue to grow and expand, citizens are becoming increasingly aware of the diminishing amounts of open space and natural areas in and around their communities. Similarly, this increased awareness parallels an increased interest in preserving open spaces, rural landscapes, and natural areas along creeks, lakes, wooded areas, prairies, and other environmentally and culturally significant locations.
- Related to this increased interest in the preservation of open spaces and natural areas is an increased interest among citizens to consider alternative development strategies within their communities. This is in order to preserve and provide access to natural areas, decrease traffic congestion, encourage walking and bicycling, enhance property values, and increase and enhance recreation opportunities within their community. Alternative development strategies often considered include mixed-use development, new urbanism, and conservation developments.
- The attributes of a community play a large role in attracting (or detracting) people to a city or region. Research shows that the quality of a city's environment (its climate, park space, trails, and natural resources) is the most significant factor in attracting new residents . As such, high-quality, high-quantity parks and open space systems will attract people while low-quality, low-quantity parks and open space systems will detract people.

Baby Boomer Trends

It is projected that there are 77 million Americans born between the years of 1946 and 1964. The Baby Boomer generation comprises one-third of the total U.S. population. With such a significant portion of the population entering into the retirement age, they are redefining what it means to grow old. Many Baby Boomers are



opting not to retire at a traditional retirement age. Because of



their dedication to hard work and youthfulness, this population is expected to stay in the work force longer because they take pleasure in being challenged and engaged. According to *Packaged Facts*, a demographic marketing research firm, trends that are beginning to take off because of the Baby Boomers include:

- Prevention-centered health care to keep aging bodies free from disease.
- Anti-aging products and services that will keep mature adults looking as young as they view themselves to be.
- Media and internet technology to facilitate family and social ties, recreation and lifelong learning.
- Innovation in housing that allows homeowners to age in place.
- Increasing entrepreneurial activity among those who have retired, along with flexible work schedules that allow for equal work and leisure time.
- Growing diversity in travel and leisure options, especially with regard to volunteer and eco-friendly opportunities.

High School Sports Trends

The National Federation of State High School Associations records the number of high school students participating in sport activities every year. These trends can have an influence on the types of programs that are offered by a city's parks and recreation department. A city can focus on offering youth leagues in the same sports for those that are interested from an early age; as well as offer different teen sports so that services are not duplicated by the athletic opportunities offered by the school system. The top ten sports in Texas for **GIRLS** in 2010/2011 (most recent data available) ranked in order by number of students participating are:

1. Basketball - approximately 23% of all high school girls participating in sports play basketball. However, participation in this sport has declined every year since 2007.

2. Track and Field - this is statistically the number one participated sport across the nation for girls. However, similar to basketball, track and field has decreased in participation across Texas since 2007.

3. Volleyball - currently 13% of girls participating in sports play volleyball. This sport has seen a significant increase in participation since 2009.



4. Softball (fast pitch) - this sport has experienced a slight increase in participation every year since 2007.

5. Cross Country - this sport has decreased in overall participation every year since 2007, with the most significant drop occurring this past school year (2010/2011).

6. Soccer - a significant increase in participation occurred in the 2007/2008 season, and minimal growth has occurred every year since.

7. Tennis (individual) - this sport has slightly increased in participation every year since 2005.

8. Tennis (team) - a significant increase in participation was experienced for a number of years in the mid-2000s, but it has declined since 2009.

9. Swimming and Diving - this sport has had steady growth in participation since 2003, and it has experienced the highest percentage of growth among the other sports.

10. Golf - This sport has a tendency to slightly fluctuate in the number of participants every year.



The top ten sports in Texas for **BOYS** ranked in order by the number of students participating are:

- 1. Football - approximately 35% of all high school boys who participate in sports play football in the State of Texas. Even though this sport has the highest number of participants, it experiences a minimal fluctuation in growth or decline every year since 2003.
- 2. Track and Field - similar to track and field for girls, this sport for boys has experienced a decrease in participation every year since 2007.
- 3. Basketball - this sport has experienced a decrease in participation every year since 2008.
- 4. Baseball - this sport has had a slight increase in participation every year since 2003.

8. Golf - participation has increased the past two years, but decreased the two years prior.

9. Tennis (team) - participation in this sport fluctuates. It has slightly declined the past two years; however, it had significant increases every year for the three years prior.

10. Swimming and Diving - based on percentage, this sport had the largest amount of growth when compared to any other sport. For the first time swimming and diving replaced wrestling as the top ten boy sport in Texas because of this large increase in participation.



5. Soccer - there was a drastic increase in participation in the 2006/2007 and 2007/2008 seasons; however, it has experienced steady decline every year since 2008.

6. Cross Country - this sport has experienced the

largest percentage of decrease in participation among the other sports since 2007.

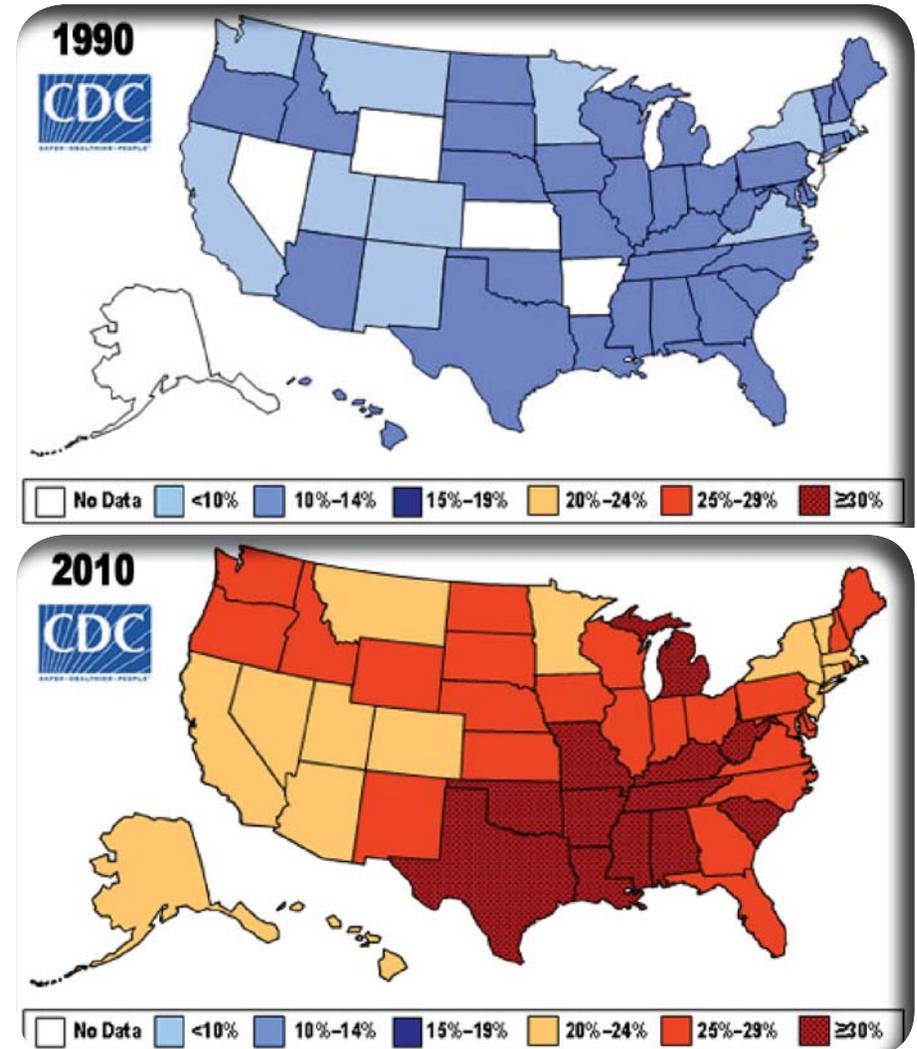
7. Tennis (individual) - this sport experienced steady growth every year prior to 2007, but has declined in total participation the past two years.



Texas' Ranking on Health

America's Health Ranking tracks the nation's health by state based on a variety of health issues. The ranking has been done annually for the past 20 years by the United Health Foundation, the American Public Health Association and the Partnership for Prevention. Texas has an overall ranking of #44 out of the 50 United States. Factors such as the high rate of uninsured people, the limited access to early prenatal care, and the high percent of children living in poverty all contribute to such a low rank.

- Texas is ranked last (#50 out of 50) in the category "lack of health insurance." 25% of the Texas population does not have health insurance, the highest in the country.
- #18 in "underemployment rate" at 14.4%.
- #45 in "children living in poverty" with 26.5% of persons under the age of 18 in poverty. This increased from 22% five years ago.
- #42 in "prevalence of obesity" with 31.7% of the population obese. This increased from 23.1% ten years ago. Today 5.8 million adults in Texas are obese.
- #37 in "health status" with 17.4% of the population reported currently being in fair or poor health.
- #39 in "public health funding" with an average of \$56.49 per person.



Percent of population that is considered obese, by state. Source: Centers for Disease Control and Prevention



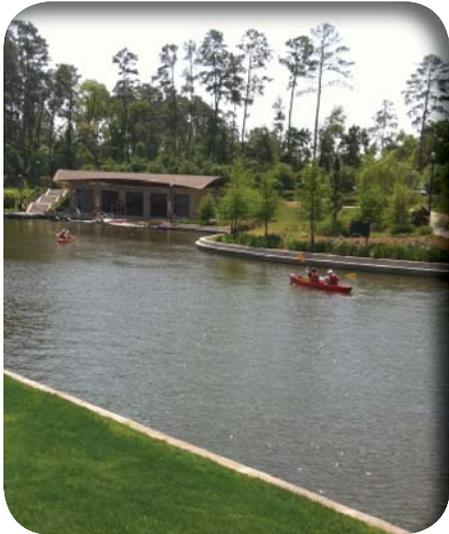
VALUE AND BENEFITS OF PARKS & RECREATION

Developing an excellent park and recreation system demonstrates a local government's commitment to offer a high quality of life for its residents. A superior park and recreation system increases the quality of life in a community because of the many benefits it offers. **Parks are the single most visible positive expression of a city government at work.**

Opportunities for relaxation and rejuvenation

So many people face increased challenges every day, whether it is from their job, their family life, financial obligations, or any other combination of things. People come to parks to relieve some of their daily stress. Whether it involves kicking a soccer ball, watching their children play on the swings, or fishing in the creeks and ponds, the idea of restoration is that people feel better after they leave a park than when they first arrived. There are some elements of the natural environment that can increase the likelihood of restoration.

- Parks and recreation allow for people to reflect and discover what is on their mind. This can come from fishing, listening to birds, watching a water fountain, enjoying the scenery, or countless other natural occurrences. Placing benches or bridges where people can stop to notice nature increases the opportunities for restoration.



to birds, watching a water fountain, enjoying the scenery, or countless other natural occurrences. Placing benches or bridges where people can stop to notice nature increases the opportunities for restoration.

- Parks need to have inviting things to allow the mind to wander. Japanese gardens offer outstanding examples of how small spaces can achieve this. They position viewpoints so the entire garden cannot be seen at once, they have

circuitous pathways to make the area seem larger, or they have vegetation that divides larger spaces.

- By providing a slight sense of enclosure, the users of the park feel as if they are somewhere else, away from life's distractions. Enclosures can be achieved by having a tree canopy or planting vegetation along building sides to hide them.

Opportunities for Community Involvement

Parks and recreation offer opportunities for citizens to become involved in the community. There are many ways in which citizens can be involved in the community through parks and recreation.

- Having an Adopt-A-Park program lets residents volunteer to help maintain one specific park in their neighborhood.
- Allowing residents to be instructors for a recreation program gives them the opportunity to share and teach their skills to other members of the community.
- Organizing work day projects to install a playground or plant new trees lets residents feel a sense of ownership in the park they helped build.



By providing opportunities for residents to become involved in the community, parks and recreation is also providing opportunities for residents to socialize and meet their neighbors.

Benefits to At-Risk Youth and Teens

One major benefit of parks and recreation is the impact it can have on at-risk youth. Teenagers are the hardest market to reach; when there is a lack of activities for them, some may engage in juvenile delinquency. By providing activities and recreation programming for this segment of the population, a city is providing





a safe place for the youth to go and a usually supervised environment for them to be in. An example of this is the planned Jackson Tyler Norris Memorial Skate Park. Examples of where recreation programs had an impact on crime rates in communities include:

- There was a 31% decrease in crime in Cincinnati, Ohio after a prevention program was started.
- There was a 25% decrease in juvenile apprehensions in Kansas City, Missouri after starting a midnight basketball program.
- There was a 28% decrease in crime in Fort Worth, Texas within a one mile radius of the community centers that offered a midnight basketball program. The community centers that did not offer the program had an average increase in crime of 39%.

Tourism Impacts of Parks and Recreation

People visit a city for the attractions that are offered. Several attractions in a community include parks and recreational facilities, as well as festivals, concerts and events that take place in those facilities. **In essence, people often visit a city because of the Parks and Recreation Department.** For example:

- While visiting New York City, people want to go to Central Park in addition to other historical sites and monuments. Millennium Park in Chicago is rapidly becoming the primary tourist attraction in that city.
- People from surrounding communities often drive to Austin just to jog or bike along the trails of Lady Bird Lake.
- As of 2008, the sports tournaments in Round Rock held at local city parks had a total economic impact of over \$43 million for the City.

Parks and recreation are also good for a community's economy because of the impact it can have on other businesses. For example hotels often charge more for a room if it overlooks a park, lake, ocean, garden or open space as opposed to a roof top or parking lot. By charging more, the hotel/motel tax that the city receives is higher. Other business impacts include the operations that people start in conjunction with a park or trail. As examples, people can rent canoes and kayaks at Zilker Park in Austin, and people can rent bicycles along the Cape Cod Rail Trail in Massachusetts. Each creates an attraction, a business opportunity, and a possible revenue generation that would not otherwise be there without the park or trail facility.



Environmental Benefits of Parks

Parks and recreation offer several environment benefits to a community. **Parkland, open space, greenbelts and trails all contribute to ensuring that a community is green and not overrun with concrete and construction.** For one, parks and open space can control storm water runoff and reduce the likelihood of flooding. Rain water that falls onto impervious surfaces can be slowed down by planting trees which impede the fall rate.



Parks, open space and trees also contribute to cleaner air in a community. Trees can absorb air pollutants that would otherwise increase sulfur dioxide, nitrogen dioxide, and carbon monoxide in the atmosphere. In 1994 in New York City, it was reported that



trees removed 1,821 metric tons of air pollution.

In a study done by the Trust for Public Lands for the Philadelphia Parks Alliance in June 2008, it was calculated that parks in Philadelphia generate \$18 million in added property tax revenue, \$689 million in increased equity for homeowners near parks, \$16 million in municipal cost savings, \$23 million in city revenue, and \$1.1 billion in cost savings for citizens.

Parks and open space protect wildlife habitat as well. Habitats of endangered species and areas specific to migratory patterns are often protected and designated as parkland or open space. By preserving these lands, a community is helping the survival of these species.



Parks and open space contribute to the preservation of land in general as well. The parks and recreation department within a community ensure that all the

land is not developed. It is important to have green space and places of nature within a city. Parks and greenbelts are the most significantly preserved open spaces in a community.

Personal Health Benefits of Parks and Recreation

Parks and recreation at its most basic function offer places for exercise. With heart disease, diabetes, and child obesity rising to staggering numbers, we all need to be more physically active.

Parks and recreation gives us the opportunities to be physical. Whether it is jogging along a trail, playing on a softball league, taking a fitness class, or swimming at the pool, the most common places for exercise are in the parks and through our recreation programs.



Play is critical for child development. Organized sports, playing on a playground, and even unstructured activities such as tag or hide-and-seek will help children develop muscle strength, coordination, cognitive thinking and reasoning, and develop language skills. Also, play teaches children how to interact with one another. The places where children play are again at a community's parks and recreational facilities.

Parks and recreation have been shown to have psychological benefits as well. Physical exercise helps develop new nerve cells which increase a person's capacity for learning. Being in nature and exercising have both been shown to reduce feelings of stress, depression and anxiety. Parks and nature conjure a sense of relaxation. A person does not have to be among nature for extended periods of time to experience those feelings. Just driving through a park or looking at green space through a window of a building has been shown to be enough to relax the mind.

Economic Benefits of Parks and Recreation Are Endless

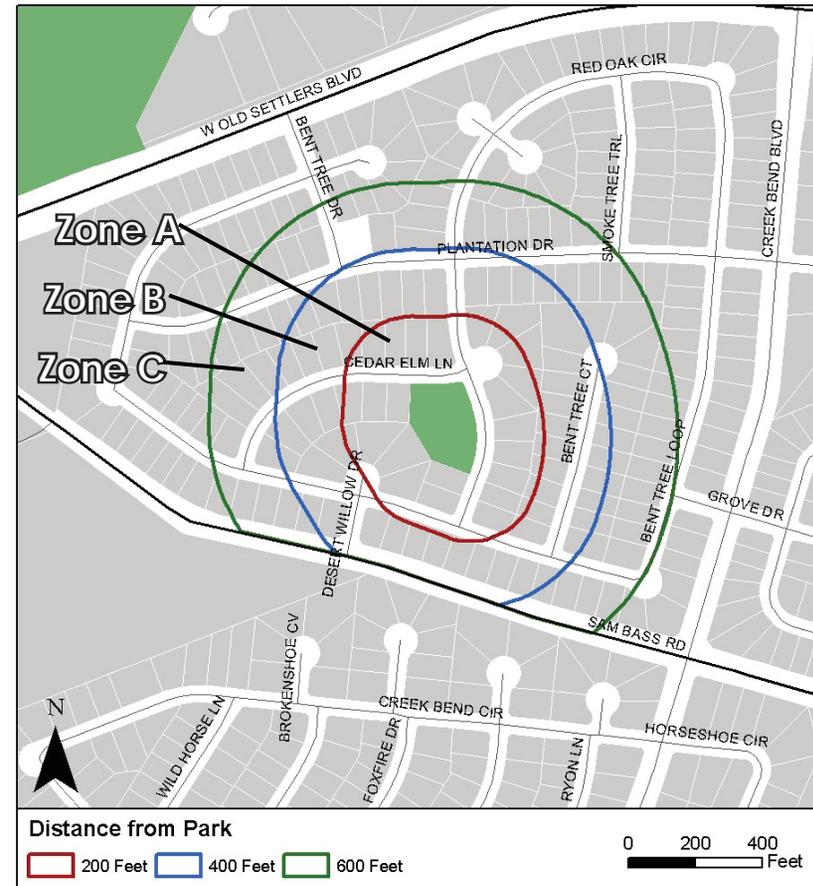
In the parks and recreation profession, there has been a movement in the past few decades to prove that parkland has a direct impact on the property values of homes in a community. The *Proximity Principle*, developed by Dr. John Crompton of Texas A&M University, is a theory that people are willing to pay more for their home when it is close to a park or green space.



- The Proximity Principle divides houses into different zones and the zones closest to a park have the highest value. People living in Zone A pay the most for their home, people living in Zone B pay less than Zone A but more than Zone C, and people living in Zone C pay the least (image to the right).
- If people pay more for their property, then this results in higher property taxes being paid to the city.
- Also, park maintenance typically costs much less for a city than providing services to the additional homes that would have otherwise been built on the site. For example, if ten additional houses were built on a piece of land instead of a park, it would cost the city more money each year to provide water, sewer, trash service, police and fire protection, and schools for the ten houses than it would to maintain a park.

WHY PLAN FOR PARKS & RECREATION NOW?

Buda is at an opportune time to plan for the growth that is quickly coming. Parks and recreation are necessary components of a city's infrastructure, contribute first hand to the quality of life offered in a city, and planning for parks and recreation cannot fall by the wayside. Buda currently has a great system of city neighborhood parks, large community parks, HOA run neighborhood amenity centers and pools, and the opportunities for an all inclusive trails system. Now is the time for the City to act to ensure that the system becomes even better. This document outlines the steps necessary for Buda to provide connectivity for the residents of Buda with trails; strengthen the parkland dedication ordinance so that all new developments have centrally located and accessible neighborhood parks; and construct a signature festival and community park at City Park.



GOALS AND OBJECTIVES

Goals and objectives for a plan such as this create the foundation for guiding future decisions and development. They are intended to build upon the goals established by the City's Comprehensive Plan adopted in September 2011. Goals are an important part of the planning process in that they provide the underlying philosophical framework for decisions and also guide decision makers on issues. The goals expressed in this master plan reflect the desires of the citizens, elected and appointed officials and the staff of Buda.

These goals are based on the input received from the public input meetings, the citizen survey, during stakeholder interviews, and meetings with the Parks and Recreation Department, city management staff, Parks and Recreation Commission, and the City Council of Buda.

Goals describe the desired outcome for a plan. It is different from a vision in that it speaks directly about a component of the overall system.

Objectives are identified statements or policies that work toward the goal. It is more specific than a goal, and addresses particular issues related to the elements to achieve the desired goal.

Actions include specific strategies or steps to take in order to reach a specified objective. Action items are specific enough to include a recommended timeframe for implementation, other agencies or entities to partner with, and often a potential cost.

Benchmarks are target measures which the objectives and actions are working toward. It measures progress toward

achieving the goal over time, and are ways to measure progress of plan implementation. One benchmark for parks and recreation that was derived from the Comprehensive Plan was for every residence of Buda to be within a quarter mile of park, trail or open space (Buda 2030 Comprehensive Plan, page 67).

Goals provide the underlying philosophical framework for decisions and also guide decision makers on issues.



GOALS & OBJECTIVES FOR BUDA'S PARKS

Goal 1: Create a citywide trails network that connects parks, schools, businesses, neighborhoods, civic facilities, and key destinations with a series of off-street pedestrian and bicycle facilities.

Objective 1.1: Construct an additional 9 miles of trails, focusing on the spine network as recommended in the Trails Master Plan (Chapter 7).

Goal 2: The park system will be expanded to meet the need of all future residents in Buda, and neighborhood parks will be developed as a central recreation green spaces within the neighborhoods they serve.

Benchmark: 100% of Buda residences will be within 1/2 mile maximum of a park (currently 95%). Within 20 years, 100% of Buda residences will be within 1/4 mile of a park, trail, open space or other green amenity (currently 70%).

Objective 2.1: Address gaps in the Parkland Dedication Ordinance to ensure all new neighborhood parks are centrally located within their neighborhood.

Objective 2.2: Seek opportunities to acquire neighborhood parkland in existing developed residential areas that are underserved.

Objective 2.3: Seek opportunities to acquire land for a large community park on the east side of IH-35.

Goal 3: The Parks and Recreation Department will be well funded to continue the current level of maintenance and quality of facilities.

Objective 3.1: Increase parks and recreation department funding as necessary (currently \$63 per capita and 11.1% of general fund), to keep the current level of maintenance and to compete with other surrounding central Texas communities.

Goal 4: The parks system will be environmentally sustainable.

Objective 4.1: Purple pipe automated irrigation should be installed and used on all athletic fields, at all regional parks, at all community parks, and at any neighborhood park over 10 acres in size where feasible.

Goal 5: Open space, cultural landscapes, and natural resources will be preserved within Buda.

Objective 5.1: Acquire 50 acres of open space within the next 10 to 20 years.

Objective 5.2: Preserve all remaining undeveloped 100-year floodplain along Onion Creek and Garlic Creek.

Objective 5.3: Preserve, at a minimum, 10% of the total land area within Buda's city limits and ETJ as open space upon build-out (currently 4.5%).

Goal 6: Parks in Buda will be unique with a customized "Buda" look.

Objective 6.1: All parks should have a customized pavilion added.

Objective 6.2: All parks should be improved to include shade structures over the playgrounds, customized park signs, customized benches, and enhanced landscaping so visitors easily recognize and feel that they are in a City of Buda park.



Objective 6.3: Enhance City Park to make it more of a festival and community park.

Objective 6.4: Improve the landscaping around the Stagecoach amphitheater to make it an outdoor wedding/event venue in Buda.

Goal 7: Market and promote Buda's parks more effectively.

Objective 7.1: Create a parks and trails location map to print and publish.

Objective 7.2: Better utilize the City's website for updating and posting information regarding the Parks and Recreation Department, and consider utilizing social media sites.

Objective 7.3: Install an electronic message board along the IH-35 corridor in Buda to promote the parks and City events.

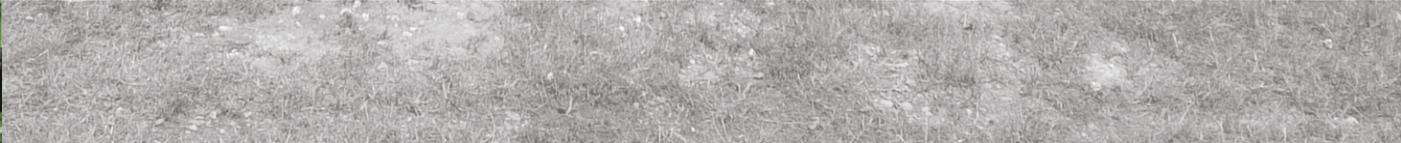
Objective 7.4: Seek to provide a variety of recreational programs for the citizens of Buda.





CHAPTER 2

current context of buda



INTRODUCTION

The 2012 Parks Master Plan should build upon the best features of Buda. It should enhance what Buda is, how it came to be, and what the citizens of Buda want of their city, rather than trying to make it something that it is not. Understanding the context of the City is an important part of the park planning process.

Both the physical and demographic makeup of the City help determine the current and future park needs of its citizens. This chapter summarizes the current context of Buda in the year 2012, including the history of Buda, the demographics and population of the citizens of the community, and the physical characteristics of the City. This chapter also summarizes previous planning efforts in Buda.

THE HISTORY OF BUDA

Buda was formally established on April 1, 1881, when Cornelia Trimble donated land for a town site at an International-Great Northern Railroad depot. Phillip J. Allen had settled the area, originally part of the Mexican land grant to Stephen B. von Eggleston, as early as 1846.

“We do make a difference - one way or the other. We are responsible for the impact of our lives. Whatever we do with whatever we have, we leave behind us a legacy for those who follow.”

-Stephen Covey, Author-

The first community in this part of the county, Mountain City, developed before the Civil War, but was rapidly depopulated as its residents and businesses flocked to the new rail

depot, which took the name of DuPre. Folklore has it that this name originated in 1880, when, as the railroad pushed into Hays County, the postmaster at Mountain City approached a railroad official and requested, “Do, pray, give us a depot.” In 1887, at the request of the post office department, the name was

changed to Buda. The common explanation for the new name is that it derives from Spanish *viuda*, or widow. The town had gained a reputation as a popular eating stop for rail travelers, and the name may refer to a pair of widows who cooked at the Carrington Hotel in the 1880s.

The provision of supplies and services to surrounding dairy farms and ranches was the basis of the local economy, and at different times the community supported mills, hotels, banks, a lumberyard, two newspapers, a cheese factory, a movie theater, and a skating rink. In 1928 local businesses organized a chamber of commerce. Buda remained an active commercial center and railroad depot until the Great Depression.

In 1929 its population was estimated at 600, but by 1933 it fell to 300. Only in the mid-1980s, as the growth of Austin began to be felt in Buda, did its population once again approach pre-depression levels. The town was incorporated in 1948, and in 1967 Buda, Kyle, and Wimberley formed the Hays Consolidated Independent School District (only Buda and Kyle remained in the district after 1986). By the mid-1980s Buda had attracted a cement plant and some craft industry, but the community was still primarily rural and residential. Its population in 1990 was 1,795 and 2,404 by 2000.

Regional Context

Cities are influenced and shaped by regional physical, economic, and social forces. By recognizing its position in the region, and acknowledging and overcoming challenges, the city can benefit from regional opportunities.

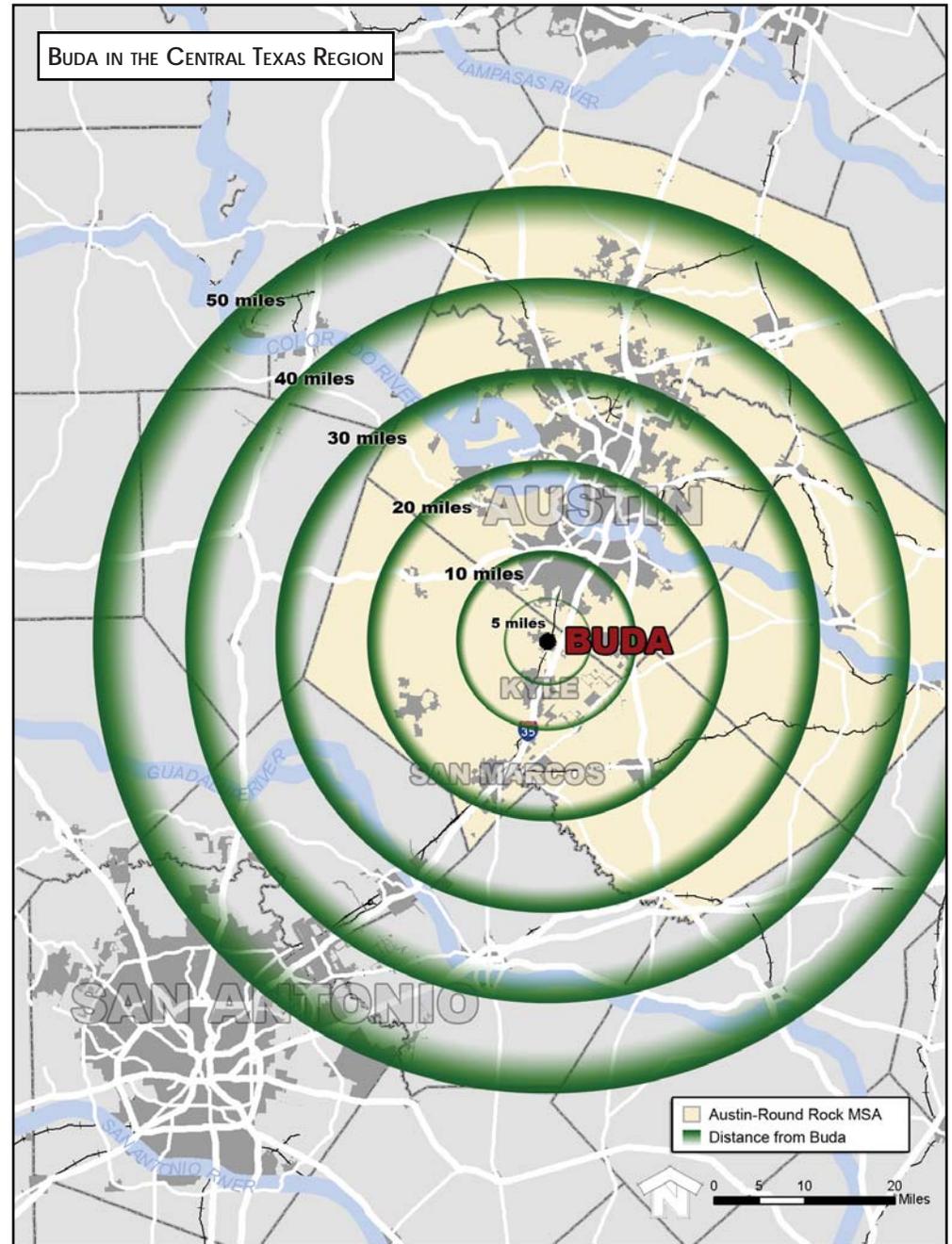
The City of Buda is located in the greater Central Texas region, and is a city within the Austin-Round Rock Metropolitan Statistical Area (MSA). A MSA is formed around urbanized areas with a population of at least 50,000. It includes the central county containing the core, plus adjacent outlying counties that have a high degree of social and economic integration with the central county as measured through commuting. The Austin-Round Rock



MSA includes Travis, Hays, Williamson, Caldwell, and Bastrop counties.

Buda is located in northern Hays County on IH-35. It is approximately 15 miles south of downtown Austin and 15 miles north of San Marcos. Recently, SH-45 opened, connecting Buda to SH-130, which runs east of Buda. Additionally, the Union Pacific railroad through downtown Buda is still active with freight rail carrying goods to the communities between Mexico and the Dallas/Fort Worth Metroplex and beyond. This rail line is currently used by Amtrak and is also actively being considered for use by Lonestar Rail, a new commuter rail service from San Antonio to Austin.

With two major highways among other major arterials and a railroad, Buda has benefitted from residential growth from commuters travelling to other nearby employment centers. The proximity to both Austin and San Marcos gives residents of Buda easy access to large marketplace areas. It is also ideally located for economic development as the area continues to grow in population.



POPULATION TRENDS AND PROJECTION

Understanding the current and future size and characteristics of the population to be served is a key part of the park planning process. Establishing a base population for today is the foundation from which the projection of population growth extends and influences the demand and needs for future parks and recreational facilities.

This chapter examines historical growth in Buda, reviews recent growth trends since 2000, and establishes a potential population projection range for the Parks, Recreation, Trails and Open Space Master Plan. The U.S. Census Bureau is the primary source for population estimates used by government entities across the nation. Not only does the U.S. Census Bureau estimate the population, but they also collect detailed characteristics of population that often have planning implications.

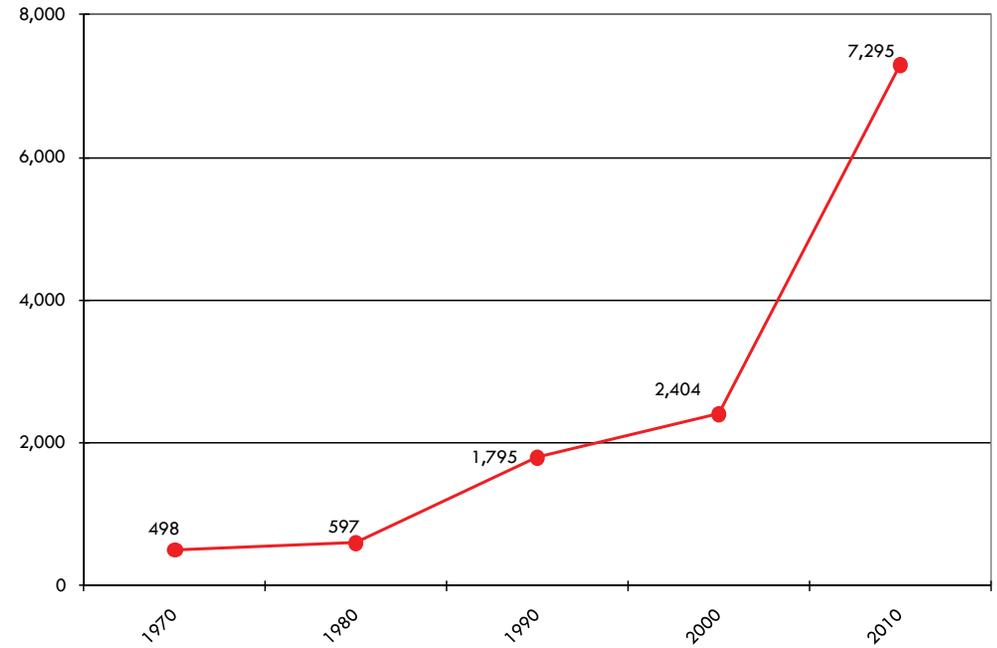
However, the U.S. Census does not provide future population projections. There are several sources that project population for Central Texas, which were used to evaluate the projected population growth of Buda. Overall, resources for this evaluation include the Texas State Data Center (TXSDC), Capital Area Council of Governments (CAPCOG), Texas Water Development Board (TWDB), and Environmental Systems Research Institute Demographics (ESRI).

Historical Growth

Buda's growth has in large part occurred in the past three decades. In 1970, Buda still had a population of 498, which grew to 597 in 1980. During the 1980s Buda experienced immense growth in population, and in 1990 population was estimated at 1,795 persons and by 2000 was estimated at 2,404 (as shown in the chart below). Over time, Buda's share of the population in Hays County has grown as both the County and City experience an increase in population.

Part of this population growth is explained by the expansion of the city limits. Between 1980 and 2010 the city has grown from 420 acres in 1980 to 3,308 in 2010. Even in just this past decade, the city doubled its land area size. However, abundant undeveloped land and proximity to Austin was a significant influence on population growth, which continues today.

**HISTORICAL POPULATION GROWTH IN THE CITY OF BUDA, TX
DECENNIAL ESTIMATES, 1970-2010**



Current Growth Trends

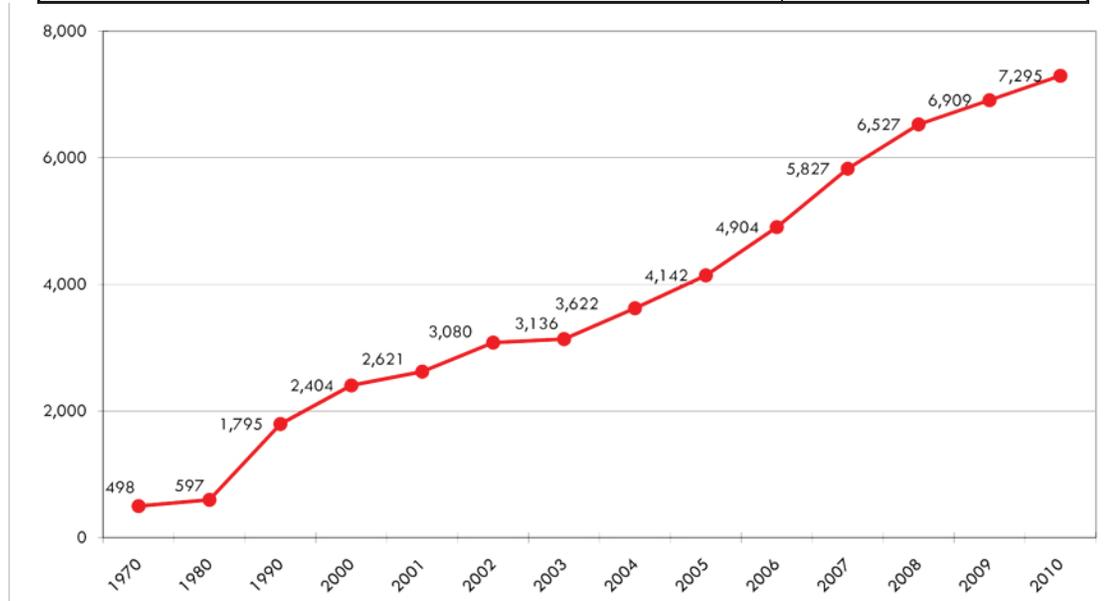
Growth has continued in Buda through the first decade of the millennium. As housing costs increase in Austin, more and more people are moving southward into Buda and Kyle. Buda has an abundant amount of undeveloped land, and its proximity to Austin makes it an ideal location, people can live in Buda and still work in Austin.

Since 2000, Buda has grown 203.5% and in 2010 had a population of 7,295. During this period, Buda's average annual compound growth rate was 13.1%, ranging from a low of 1.8% in 2003 to a high of 18.8% in 2007. Comparatively, Hays County grew 61.0% over the 10-year period, averaging 5% each year.

Because Buda's growth outpaced the growth of the entire county, Buda's share of the total population of Hays County also increased, from 2.5% in 2000 to 4.6% in 2010. Moreover, between 2000 and 2010, Buda has captured an average of 8.3% of the growth in Hays County. This capture rate has increased in recent years, and since 2004 Buda has captured 10.1% of the growth. This evaluation of growth in Buda as compared to Hays County and other cities across central Texas reinforces the real growth pressures Buda faces today and over the next decade.

TABLE 1 - HISTORICAL POPULATION GROWTH, CITY OF BUDA AND HAYS COUNTY, 2000-2010

	City of Buda		Hays County		Buda Share of Total Population	Buda's Capture of Growth
	Total Population	Annual Growth Rate	Total Population	Annual Growth Rate		
2000	2,404	3.4%	97,589	4.9%	2.46%	1.90%
2001	2,621	9.0%	104,856	7.4%	2.50%	2.99%
2002	3,080	17.5%	110,938	5.8%	2.78%	7.55%
2003	3,136	1.8%	115,967	4.5%	2.70%	1.11%
2004	3,622	15.5%	120,586	4.0%	3.00%	10.52%
2005	4,142	14.4%	126,206	4.7%	3.28%	9.25%
2006	4,904	18.4%	133,913	6.1%	3.66%	9.89%
2007	5,827	18.8%	139,699	4.3%	4.17%	15.95%
2008	6,527	12.0%	147,555	5.6%	4.42%	8.91%
2009	6,909	5.9%	151,664	2.8%	4.56%	9.30%
2010	7,295	5.6%	157,107	3.6%	4.64%	7.09%
<i>2000-2010 Total Growth:</i>		<i>203.5%</i>			<i>Average Annual Capture Rate:</i>	<i>8.26%</i>
<i>Average Annual Growth Rate:</i>		<i>11.7%</i>				



Source: 1970-2010 decennial estimates from U.S. Census Bureau; 2001-2009 annual estimates from Texas State Data Center, Population Estimates



Future Growth Potential

Growth is expected to continue in Buda, and already the signs exist of near-term growth. Larger developments are planned, platted, and under construction in and around Buda, indicating further demand for growth.

The forecasts developed here are based on a population projection developed for Hays County by the Texas State Data Center and extrapolated from the 2010 population estimate for the City of Buda of 7,295, as well as the Texas Water Development Board. Four approaches to project the population in Buda were conducted.

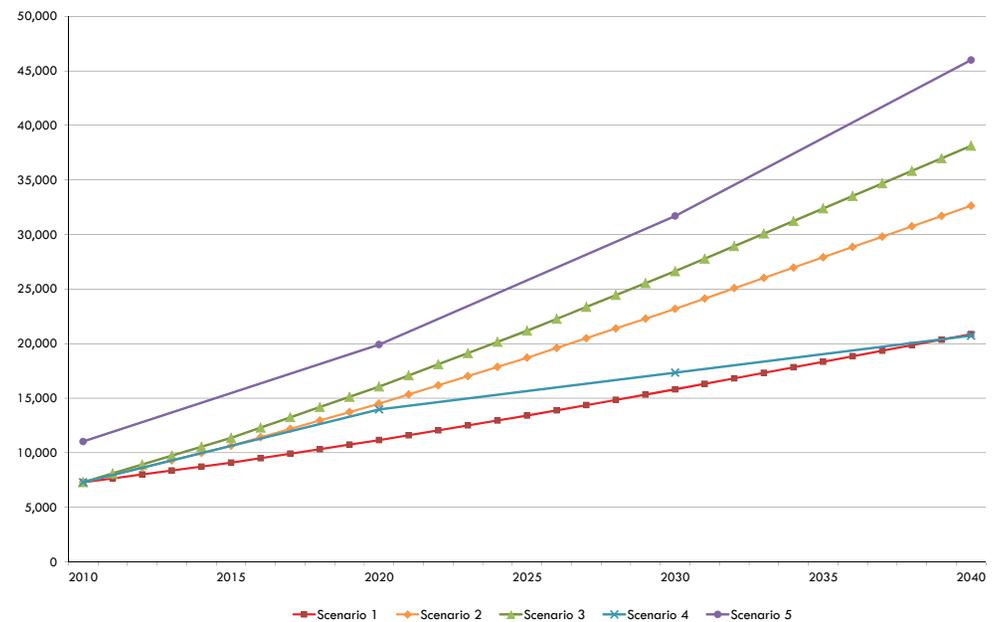
Scenario 1 is based on the assumption that Buda will grow at the same rate as Hays County, based on projections prepared by the Texas State Data Center. Based on this scenario, Hays County will grow at an annual rate of 4.2% or lower over the next 30 years. Scenario 1 only takes into consideration the growth of Hays County as applied to Buda, and does not account for the aggressive growth experienced specifically in Buda.

Scenarios 2 and 3 take into account the historical growth experienced by Buda, which was higher than the county as a whole. Scenario 2 and 3 are based on Buda's historical "capture" of the growth in Hays County. A capture rate was calculated based on historical growth of both Buda and Hays County, and then applied to the population projection for Hays County to calculate Buda's projected population. Scenario 2 uses a capture rate of 8.3%, the average capture

rate between 2001 and 2010, and Scenario 3 uses an average capture rate of 10.1%, the rate between 2004 and 2010 when growth in Buda was more aggressive.

Scenario 4 is the Texas Water Development Board population projections for Buda that were completed in 2011. Scenario 5 is the population projections developed during the City of Buda Waste Water Master Plan. **For the purpose of this master plan, Scenario 5 will be used in the needs assessment when determining future facility needs based on the projected population.**

GROWTH PROJECTION FOR CITY OF BUDA, 2010-2040



DEMOGRAPHIC PROFILE OF BUDA

The demographic information illustrated below represents the characteristics of the population, households, and workforce for the entire study area, which includes both the city of Buda and its surrounding ETJ. Because the U.S. Census Bureau does not have this detailed information for the entire study area, this data was obtained from ESRI Demographics, which prepares population and demographic estimates for user-defined geographic areas. This information is taken from the 2030 Comprehensive Plan, and at the time of that study, this information was only available through 2009.

On the following pages, a variety of more specific demographic characteristics are evaluated. Each section of demographic information includes an evaluation of the trends of that characteristic over time within Buda as well as a comparison of Buda with other cities in Central Texas. Demographic characteristics examined include:

- Age and gender of the population
- Racial and ethnic characteristics of the population
- Household characteristics, including household size, vacancy rate, own vs. rent, and income

Age and Gender Characteristics

Evaluating the population by age helps the city understand what the needs and lifestyles are of the residents of the city. Generally, the Buda population is dominated by Generation X and younger Baby Boomer generations. This population, which is roughly between the ages of 25 and 59, accounts for over half of the population in Buda. The largest population segment is between the ages of 45 and 54, accounting for 17.4% of the population.

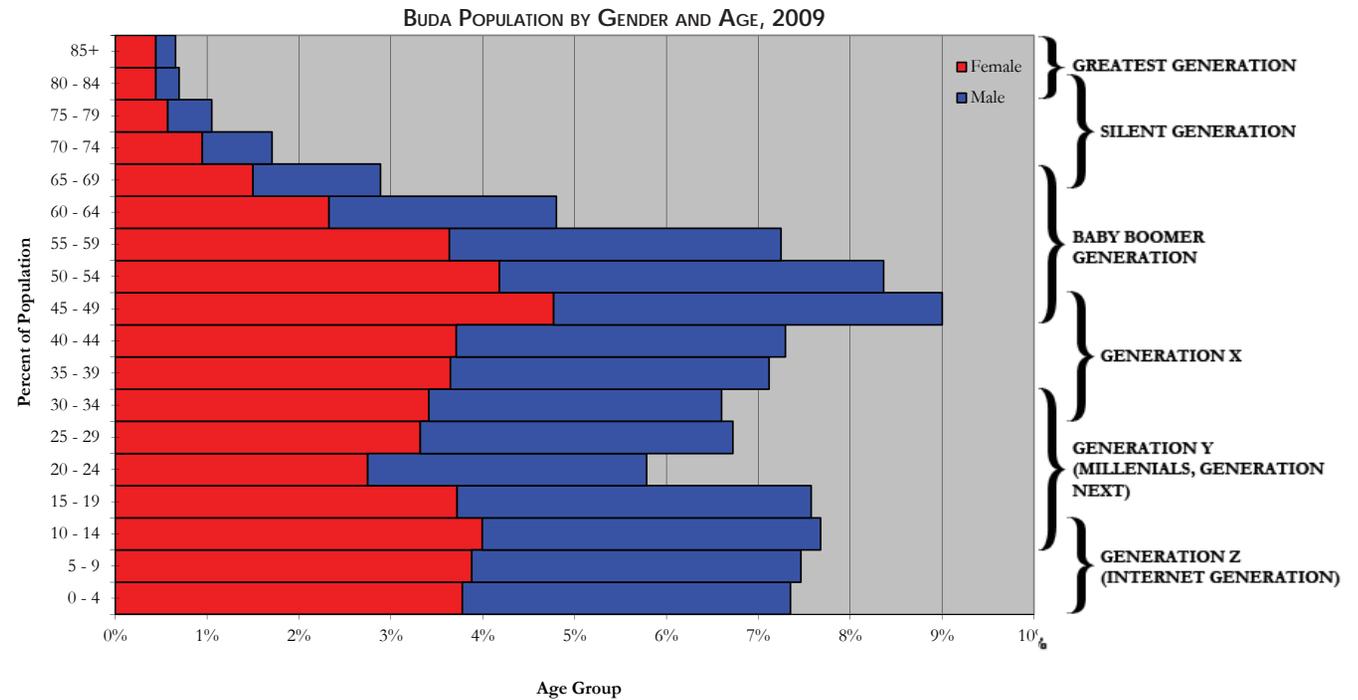


TABLE 2 - BUDA POPULATION BY AGE DISTRIBUTION TREND: CITY OF BUDA & ETJ, 1990-2009

	1990	2000	2009
<i>Total Population</i>	5,041	7,342	10,665
Distribution by Age Group			
Age 0-19	37.1%	34.3%	30.1%
Age 20-39	34.5%	27.4%	26.2%
Age 40-64	23.5%	33.0%	36.7%
Age 65+	5.0%	5.3%	7.0%

Note: Data for incorporated area as well as extraterritorial jurisdiction

Source: ESRI Demographics, Age by Sex Profile, Buda City & ETJ, 2009

In 2010, the median age for persons living in the City of Buda was 33.1. It is higher than the average for Hays County (31) and lower than the State of Texas (33.6). Buda has a somewhat older population than many other nearby cities - Kyle's median age in 2010 was 28.9 and San Marcos had a median age of 23.1. The table to the right is a comparison of Buda's age distribution with other jurisdictions in the Central Texas region, Hays County, the State of Texas, and the United States.

Nationwide every 8 seconds, someone in the Baby Boomer generation turns 60.

TABLE 3 - POPULATION BY AGE COMPARISON, 2010

	Total Population	Age 0 - 19	Age 20- 39	Age 40- 64	Age 65+	Median Age
United States	308,745,538	27.0%	26.8%	33.2%	13.0%	37.2
State of Texas	25,145,561	30.3%	28.6%	30.7%	10.3%	33.6
Hays County	157,107	29.6%	32.9%	29.0%	8.5%	31
Austin	790,390	25.6%	39.9%	27.5%	7.0%	29.6
Buda	7,295	32.2%	30.9%	30.1%	6.8%	33.1
Cedar Park	48,937	32.8%	29.8%	30.7%	6.7%	33.4
Creedmoor	202	26.2%	18.8%	43.6%	11.4%	42.8
Dripping Springs	1,788	30.3%	22.1%	35.0%	12.6%	37.8
Georgetown	47,400	23.8%	21.7%	28.7%	25.7%	44
Hays (city)	217	19.8%	17.5%	43.8%	18.9%	48.1
Hutto	14,698	38.7%	36.6%	21.5%	3.2%	28.9
Kyle	28,016	35.9%	34.6%	25.3%	4.2%	30.2
Leander	26,521	36.6%	30.4%	28.1%	4.9%	31.4
Lockhart	12,698	27.8%	28.6%	31.2%	12.4%	35.7
Manor	5,037	38.0%	32.5%	24.3%	5.2%	29.5
Mountain City	648	27.0%	15.6%	47.8%	9.6%	45.3
Mustang Ridge	861	33.1%	22.3%	35.0%	9.6%	35.6
Niederwald	565	28.3%	25.1%	35.9%	10.6%	38
Pflugerville	46,936	33.0%	28.0%	33.0%	6.0%	33.8
Round Rock	99,887	33.5%	31.2%	30.0%	5.4%	32
San Marcos	44,894	25.8%	52.4%	15.2%	6.7%	23.1
Umland	1,014	37.8%	28.5%	28.2%	5.5%	28.7

Note: Data for incorporated areas only.

Source: U.S. Census Bureau, Profile of General Population and Housing Characteristics: 2010, 2010 Demographic Profile Data.



Racial and Ethnic Characteristics

The 1990 and 2000 Census and more recent population estimates illustrate that Buda is primarily white; however, Buda also has a growing Hispanic population, with the Hispanic population growing from 18.7% in 1990 to 33.4% in 2009. The U.S. Census considers Hispanic or Latino an ethnicity and not a race.

The table to the right portrays racial and ethnic distribution for the State of Texas, Hays County, and other municipalities in Central Texas. While Buda is slightly less diverse in both race and ethnicity than the rest of the State of Texas and Hays County, it is more diverse than some of the other communities in Central Texas. The non-white population (race) ranges from 5.6% in Hays City to 54.4% in Manor. The Hispanic and Latino population of nearby communities ranges from 14.7% in the City of Hays to 63.9% in Mustang Ridge.

TABLE 4 - POPULATION BY RACE AND ETHNICITY COMPARISON, 2010

	Total Population	Racial Distribution				% Hispanic or Latino Ethnicity
		% White	% Black	% Asian	% Other Race ¹	
United States	308,745,538	72.4%	12.6%	4.8%	10.2%	16.3%
State of Texas	25,145,561	70.4%	11.8%	3.8%	13.9%	37.6%
Hays County	157,107	80.7%	3.5%	1.2%	14.7%	35.3%
Austin	790,390	68.3%	8.1%	6.3%	17.3%	35.1%
Buda	7,295	84.5%	2.9%	1.2%	11.4%	35.4%
Cedar Park	48,937	81.4%	4.3%	5.1%	9.3%	19.0%
Creedmoor	202	69.3%	0.0%	0.0%	30.7%	56.4%
Dripping Springs	1,788	81.5%	0.9%	0.1%	17.5%	29.1%
Georgetown	47,400	86.2%	3.7%	1.0%	9.1%	21.8%
Hays (city)	217	94.5%	1.4%	0.5%	3.7%	14.7%
Hutto	14,698	71.9%	14.3%	1.4%	12.4%	30.8%
Kyle	28,016	74.5%	5.6%	1.1%	18.8%	46.3%
Leander	26,521	80.2%	4.8%	2.4%	12.6%	24.5%
Lockhart	12,698	73.0%	9.4%	0.4%	17.2%	51.1%
Manor	5,037	45.6%	27.6%	1.5%	25.3%	47.5%
Mountain City	648	90.9%	0.3%	0.8%	8.0%	22.4%
Mustang Ridge	861	73.5%	1.4%	0.6%	24.5%	63.9%
Niederwald	565	78.2%	2.1%	0.4%	19.3%	45.1%
Pflugerville	46,936	64.1%	15.5%	7.4%	13.0%	27.7%
Round Rock	99,887	70.8%	9.8%	5.2%	14.3%	29.0%
San Marcos	44,894	78.5%	5.5%	1.6%	14.5%	37.8%
Umland	1,014	68.1%	2.5%	0.8%	28.6%	61.2%

Notes: ¹ Other Race includes American Native or Alaska Native, Native Hawaiian and other Pacific Islander, other races, and people of two or more races.
Data for incorporated areas only.

Source: U.S. Census Bureau, Profile of General Population and Housing Characteristics: 2010, 2010 Demographic Profile Data.



TABLE 5 - POPULATION BY RACE AND ETHNICITY TRENDS: CITY OF BUDA & ETJ, 1990-2009				
		1990	2000	2009
Total Population		5,037	7,342	10,661
Racial Distribution	% White	88.8%	82.4%	79.3%
	% Black	1.8%	1.5%	1.8%
	% American Indian	0.5%	0.6%	0.7%
	% Asian	0.7%	0.8%	1.0%
	% Pacific Islander	0.0%	0.1%	0.1%
	% Other	6.9%	12.4%	14.6%
	% Multiple Races	1.3%	2.2%	2.6%
% Hispanic or Latino Ethnicity		18.7%	28.6%	33.4%
Note: Data for incorporated area as well as extraterritorial jurisdiction				

Source: ESRI Demographics, 1990-2000 Comparison Profile, Buda City & ETJ
 ESRI Demographics, Age by Sex by Race Profile, Buda City & ETJ, 2009



Household Characteristics

Since 1990, the average household size in Buda has declined from 3.16 persons per household to 2.89 persons. Likewise, between 1990 and 2000, the share of households that were occupied by people living alone increased to 12.9% in 2000. Moreover, renter occupied housing increased significantly in the most recent decade, from 10.9% to 17.5%, likely due to the construction of two new large apartment communities in Buda. Finally, the median home value of owner-occupied homes in Buda has risen by 120% since 1990. This is most likely because of the rise in new housing stock; a significant amount of the housing stock in Buda is new.

**TABLE 6 - BUDA HOUSEHOLD CHARACTERISTICS TRENDS:
CITY OF BUDA & ETJ, 1990-2009**

	1990	2000	2009
Total Housing Units	1,744	2,539	3,930
Median Household Size	3.16	3.01	2.89
Single-Person Home	10.6%	12.9%	-
Occupied	1,595	2,437	3,692
% Vacant	8.5%	4.0%	6.1%
% Owner Occupied	82.8%	89.1%	82.5%
Median Home Value	\$89,833	\$136,344	\$198,277
% Renter Occupied	17.2%	10.9%	17.5%
Median Rent	\$338	\$475	-
Median Household Income	\$44,875	\$61,643	\$77,597

Note: Data not available in 2009 for Single-Person Home and Median Contract Rent; Data for incorporated area as well as extraterritorial jurisdiction

Source: ESRI Demographics, 1990-2000 Comparison Profile, Buda City & ETJ
ESRI Demographics, Housing Profile, Buda City & ETJ, 2009

The tables below and on the following page presents housing characteristic trends for the Buda study area as well as how Buda compares to other communities in Central Texas, Hays County, the State of Texas, and the United States. Compared to neighboring communities:

- Buda has a higher than average median home value over neighboring communities. This is most likely because of the increase in new starter home and that a significant amount of the housing stock is new.
- Buda has a lower than average median rent rate than neighboring communities.
- Buda has a lower vacancy rate than neighboring communities, indicating strong absorption of housing units.
- Buda has a higher than average median household size and lower than average single-person households, indicating that the community has a large number of families.
- Buda has a higher than average owner-occupied housing rate over neighboring communities, suggesting strong economic conditions of households in Buda or a low transient population (who primarily rent) in Buda.

**TABLE 7 - TOTAL HOUSEHOLDS BY
HOUSEHOLD INCOME:
CITY OF BUDA**

	2010
<\$15,000	3.9%
\$15,000 - \$24,999	2.8%
\$25,000 - \$34,999	6.5%
\$35,000 - \$49,999	14.3%
\$50,000 - \$74,999	17.5%
\$75,000 - \$99,999	18.6%
\$100,000 - \$149,999	30.5%
\$150,000 - \$199,999	4.9%
\$200,000+	1.0%

Note: Data for incorporated areas only.

Source: US Census Bureau, 2005-2009 American Community Survey



TABLE 8 - HOUSEHOLD CHARACTERISTICS COMPARISON, 2010

	Household Population	Total Housing Units	Median Household Size	% 1-Person Households	% Vacant	% Owner Occupied	% Renter Occupied	Median Home Value	Median Rent ¹
United States	300,758,215	131,704,730	2.58	26.7%	11.4%	65.1%	34.9%	\$119,600	\$519
State of Texas	24,564,422	9,977,436	2.75	24.2%	10.6%	63.7%	36.3%	\$82,500	\$490
Hays County	150,090	59,417	2.72	21.7%	7.0%	65.5%	34.5%	\$129,400	\$546
Austin	770,129	354,241	2.37	34.0%	8.3%	45.1%	54.9%	\$124,700	\$633
Buda	7,295	2,630	2.92	14.4%	4.9%	88.4%	11.6%	\$198,277	\$475
Cedar Park	48,800	18,726	2.74	21.4%	4.9%	67.0%	33.0%	\$128,100	\$749
Creedmoor	202	86	2.69	24.0%	12.8%	65.3%	34.7%	\$92,200	\$433
Dripping Springs	1,782	723	2.69	26.0%	8.4%	64.2%	35.8%	\$145,600	\$643
Georgetown	44,901	20,037	2.38	25.0%	6.0%	72.8%	27.2%	\$140,600	\$572
Hays (city)	217	92	2.38	20.9%	1.1%	90.1%	9.9%	\$90,000	\$525
Hutto	14,698	4,917	3.22	13.5%	7.3%	81.0%	19.0%	\$92,700	\$603
Kyle	27,625	9,226	3.15	14.5%	5.1%	80.6%	19.4%	\$96,300	\$463
Leander	26,521	8,949	3.10	14.0%	4.4%	80.3%	19.7%	\$99,800	\$650
Lockhart	11,376	4,527	2.78	24.9%	9.5%	60.2%	39.8%	\$70,000	\$432
Manor	5,037	1,645	3.32	15.8%	7.7%	81.4%	18.6%	\$58,000	\$441
Mountain City	648	229	2.88	8.4%	1.7%	98.2%	1.8%	\$155,500	\$1,050
Mustang Ridge	861	292	3.21	17.2%	8.2%	84.3%	15.7%	\$83,600	\$550
Niederwald	565	216	2.93	19.2%	10.6%	85.0%	15.0%	\$80,000	\$583
Pflugerville	46,753	16,418	2.96	17.0%	3.8%	77.4%	22.6%	\$134,900	\$732
Round Rock	99,433	37,223	2.84	20.8%	5.8%	62.1%	37.9%	\$119,600	\$696
San Marcos	38,692	18,179	2.27	33.1%	6.3%	26.3%	73.7%	\$83,400	\$548
Umland	1,014	332	3.35	18.5%	8.7%	77.2%	22.8%	\$72,100	\$330

Note: Data for incorporated areas only.

¹ Data was not available for 2010 at time of this report.

Source: U.S. Census Bureau, Profile of General Population and Housing Characteristics: 2010, 2010 Demographic Profile Data; U.S. Census Bureau, 2005-2009 American Community



PREVIOUS PLANNING EFFORTS IN BUDA

Part of the planning process for a citywide parks system includes knowing what other recreational providers are planning. Often times, the recommendations of other plans can help fulfill a deficiency that is lacking, and this can prevent the City from duplicating unnecessary park and recreation facilities. The following pages summarize many different master plans in Buda, including 2030 Comprehensive Plan; previous concept plans for existing parks; Central Texas Greenprint for Growth; Hays County Parks Master Plan; and Hays County Regional Habitat Conservation Plan.

Buda 2030 Comprehensive Plan

The Comprehensive Plan was adopted in September 2011. The Plan focused on all components of the City, including parks and recreation. During the public input process for the Comprehensive Plan, the most frequently mentioned priorities for parks and recreation included creating a system of trails and improving connectivity of the parks. Other priorities included maintaining and improving the existing parks in Buda, and having more natural open space to be enjoyed. This input led to the

Goal: Buda has a superior system of parks, recreation, trails, and open space that enhances the quality of life for all residents of Buda."

-Buda 2030 Comprehensive Plan-

overall goal for parks and recreation to be that Buda has a superior system of parks, recreation, trails and open space that enhances the quality of life for all residents of Buda.

Parks and Recreation Objectives from the 2030 Comprehensive Plan

- P-1 Ensure successful implementation and maintenance of parks and recreation resources.
- P-2 Focus existing funding and efforts to make improvements to existing parks.
- P-3 Develop a citywide trail network that connects parks, open space areas, residential areas, downtown, shopping centers, and other destinations throughout Buda.
- P-4 Increase accessibility and proximity of recreational opportunities to all Buda's residents.
- P-5 Preserve open space assets throughout the area.
- P-6 Develop new recreation opportunities such as recreation centers, swimming pool, botanical garden, horticulture center, plazas, etc.
- P-7 Protect Buda's environmental quality and identity by preserving the existing "urban forest."
- CF-2 Develop City Park as a signature outdoor event center and community park.
- DT-5 Enhance parks, plazas and other public gathering places to create safe and inviting places for people to gather, relax and play in Downtown Buda.



Hays County Parks Master Plan

The Hays County Parks, Open Space and Natural Areas Master Plan was adopted December 2011. The plan prioritizes developing large spaces that encompass multiple amenities so that they serve a larger portion of the population. The Hays County Parks Master Plan identifies ten priority projects that it seeks to provide on the county-wide scale.

1. River and Creek Access
2. Trails
3. Camping
4. Youth Camping
5. General Nature Enjoyment
6. Nature Center
7. Festival Space
8. Recreation and Sports Complex
9. Shooting Sports Complex
10. Community Gardens

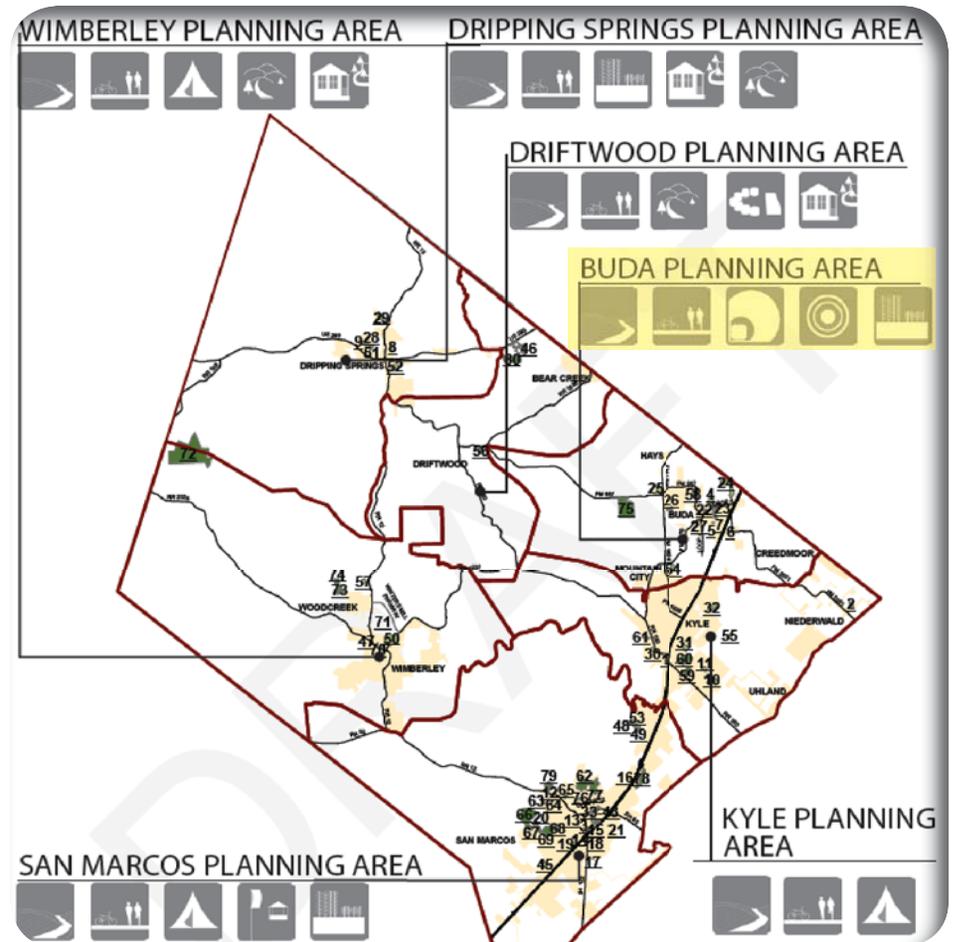
Most county parks master plans focus on large, regional parks with the intention that neighborhood and community parks are provided by cities. The goals of the Hays County Parks Master Plan are:

1. Provide regional parks and open space for an assortment of recreational experiences suited to a variety of users in the County.
2. Utilize the County park and open space system to conserve land that has environmental value including habitat, watershed health, heritage and scenic qualities, while providing appropriate recreation opportunities for the public.
3. Create a financially balanced and economically viable parks and open space system.

Key Recommendations for Buda - The master plan divided the county into different planning areas based on the major towns and cities within the County. River and creek access, as well as trails, were high priorities for the Buda area. The residents

had some satisfaction with active recreation activities but dissatisfaction with passive activities. The project priorities for the Buda Planning Area are:

1. River and Creek Access
2. Multi-Use Trails
3. Community Gardens
4. Recreation Center and Sports Complex
5. Shooting Sports Complex



Source: Hays County Parks, Open Space and Natural Areas Master Plan



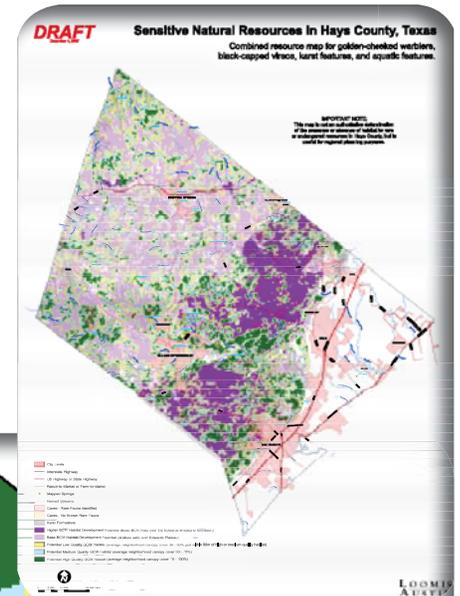
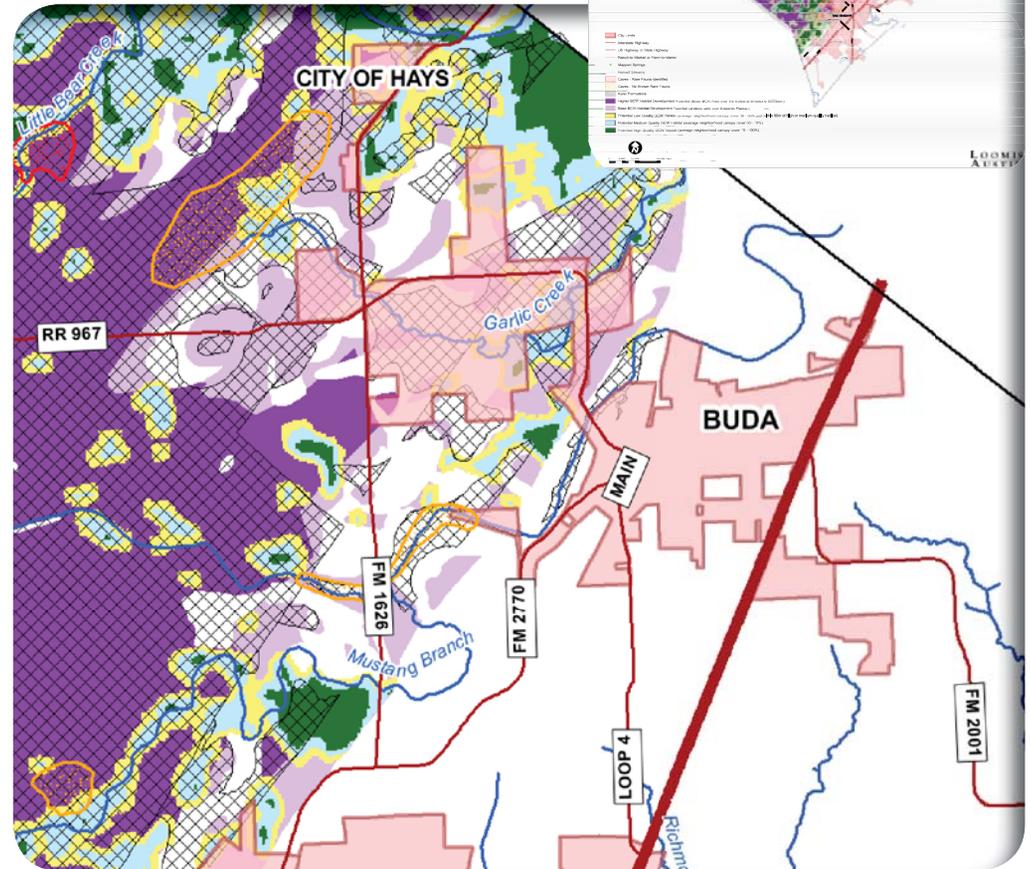
Hays County Regional Habitat Conservation Plan

The Hays County Regional Habitat Conservation Plan (RHCP) is one of two regional documents that identify opportunities for land conservation and habitat protection of the region's federally endangered birds: the golden-cheeked warbler and the black-capped vireo. The RHCP was developed in connection with Hays County's application for an Endangered Species Act (ESA) incidental take permit, which authorizes the take of these species based on a conservation banking program of assembling between 10,000 and 15,000 acres of preserved land to mitigate and manage.

The purpose of this plan is to coordinate the demands of both growth and land conservation in an efficient and streamlined method. The RHCP identifies that the projected growth of the County over the next 30 years could result in the loss of approximately 25,000 acres of potential habitat for the two endangered birds. The ESA allows for the "taking" of certain species and their habitats by creation of a conservation plan and obtaining an incidental take permit from the U.S. Fish and Wildlife Service. This process is extremely timely and costly to a private property owner. The RHCP will allow the County and other public and private entities to obtain an incidental take permit in a more efficient, streamlined, and timely manner.

This habitat conservation plan is anticipated to have broader environmental and planning impacts that will benefit the region and local governments. It is compatible with other County initiatives to protect open spaces, and will create opportunities for nature-based recreational uses and contribute to water quality protection by permanently protecting large blocks of open space. By coordinating conservation planning with a long-term focus over a regional scale, there are better opportunities for conservation in a rapidly changing landscape such as long-term protection and management of natural resources vital to the health of the Hill Country ecosystems such as wildlife, woodlands, and water.

Sensitive Natural Resources in the Buda area.
Source: Loomis Austin, Hays County Habitat Conservation Plan



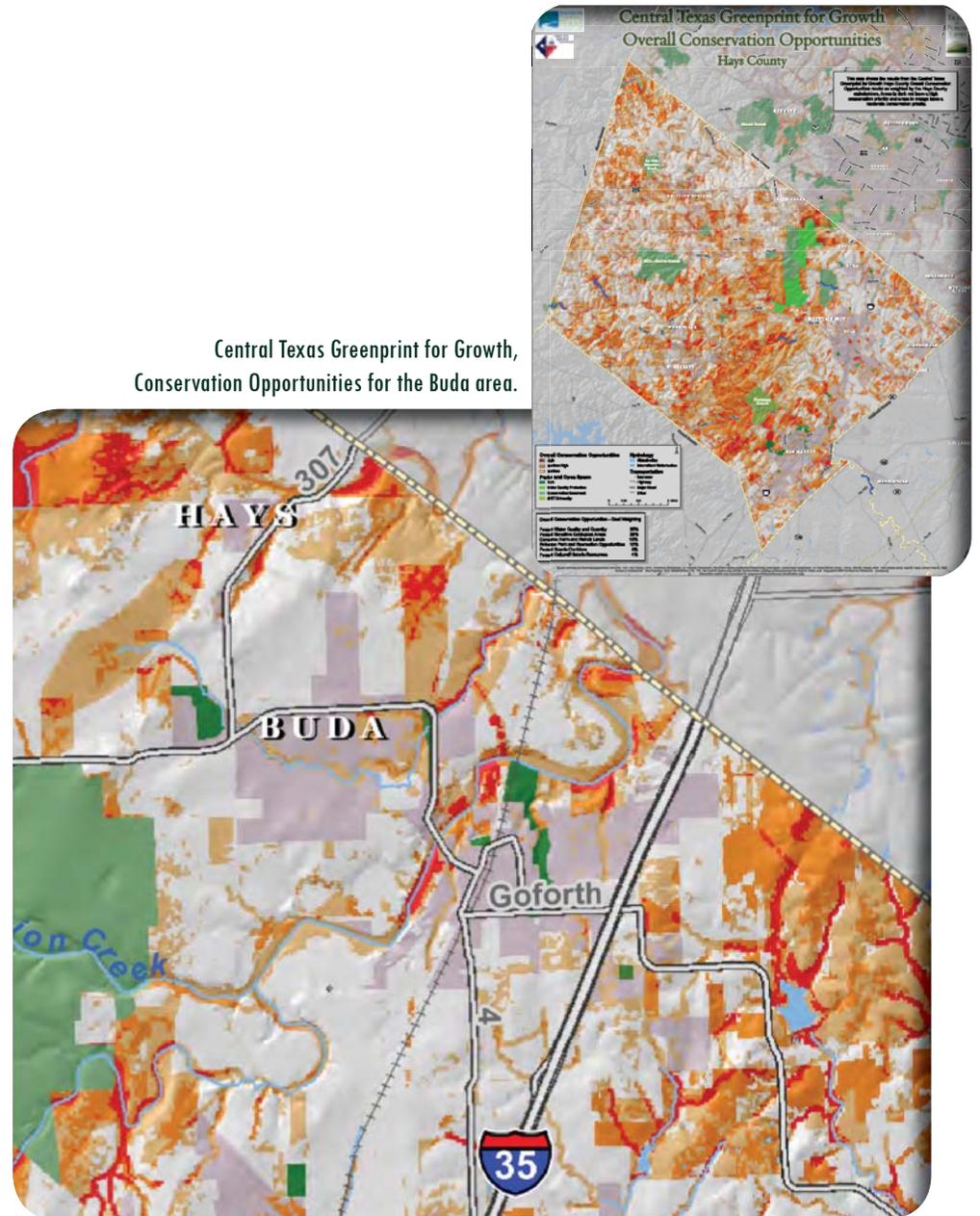
Central Texas Greenprint for Growth

In 2009, the Central Texas Greenprint for Growth was developed through a partnership among The Trust for Public Land, Capital Area Council of Governments, and Envision Central Texas. The area includes Bastrop, Caldwell, and Hays Counties. Travis County Greenprint for Growth was completed in 2006 and the Central Texas Greenprint report incorporates those results. The process brought together communities of this area, including residents and property owners, business owners, local experts, city and county leaders, and other stakeholders that represented interests of the region. The Central Texas Greenprint for Growth aims to accomplish the following key conservation goals:

- Protect water quality and quantity
- Protect sensitive ecological areas
- Preserve farm and ranch lands
- Enhance recreational opportunities
- Protect cultural resources and historic sites
- Protect scenic corridors and viewsheds

Based on unique ranking systems for the conservation goals of each county, opportunities for conservation were defined and mapped, and a regional composite map was created to highlight those lands that met overlapping conservation goals. The model assigned “weights” based on the stakeholder groups to allow some goals to have more emphasis on the overall priorities than others. In Hays County, the goal with the highest priority weight is protection of water quality and quantity, followed by protection of sensitive ecological areas. Ultimately, the Greenprint for Growth composite map “identifies the high priority areas for conservation that meet ecosystem protection goals, local open space and park needs, and helps realize the over arching vision of sustainable growth in Central Texas.” The map to the right illustrates the Overall Conservation Opportunities in Hays County.

Central Texas Greenprint for Growth, Conservation Opportunities for the Buda area.



Source: Trust for Public Land, Central Texas Greenprint for Growth



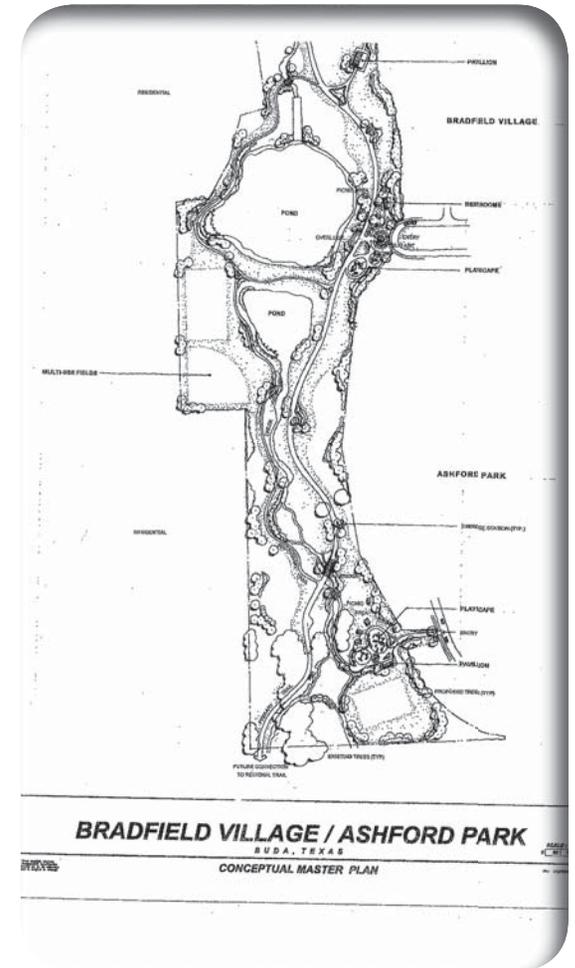
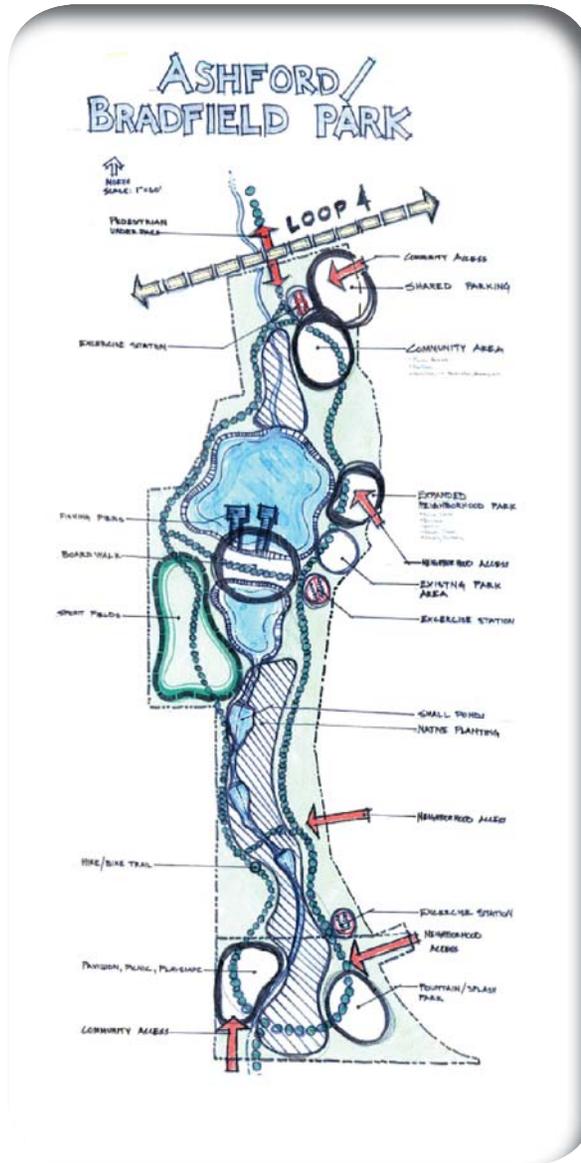
Previous Concepts for Existing Parks

A concept plan for many of the existing parks was done at one time, either by hired consultants or previous Parks and Recreation Commission members. Most of these concept plans have not gone further than a conceptual level. However, many of the concepts and certain components of them are still relevant today. This master plan has incorporated many of the ideas from these concepts when making specific recommendations for each park.

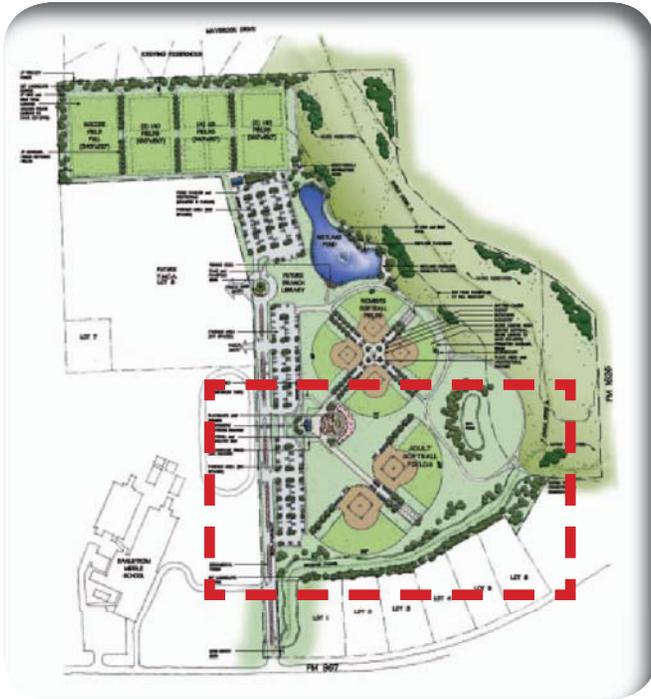
Whispering Hollow Park Off-Leash Concept



Bradfield Park Concepts



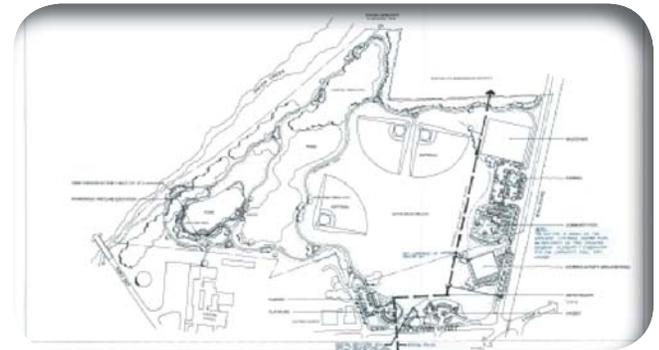
Sportsplex Concept - One Phase Remaining



City Park Sand Volleyball Court Concept



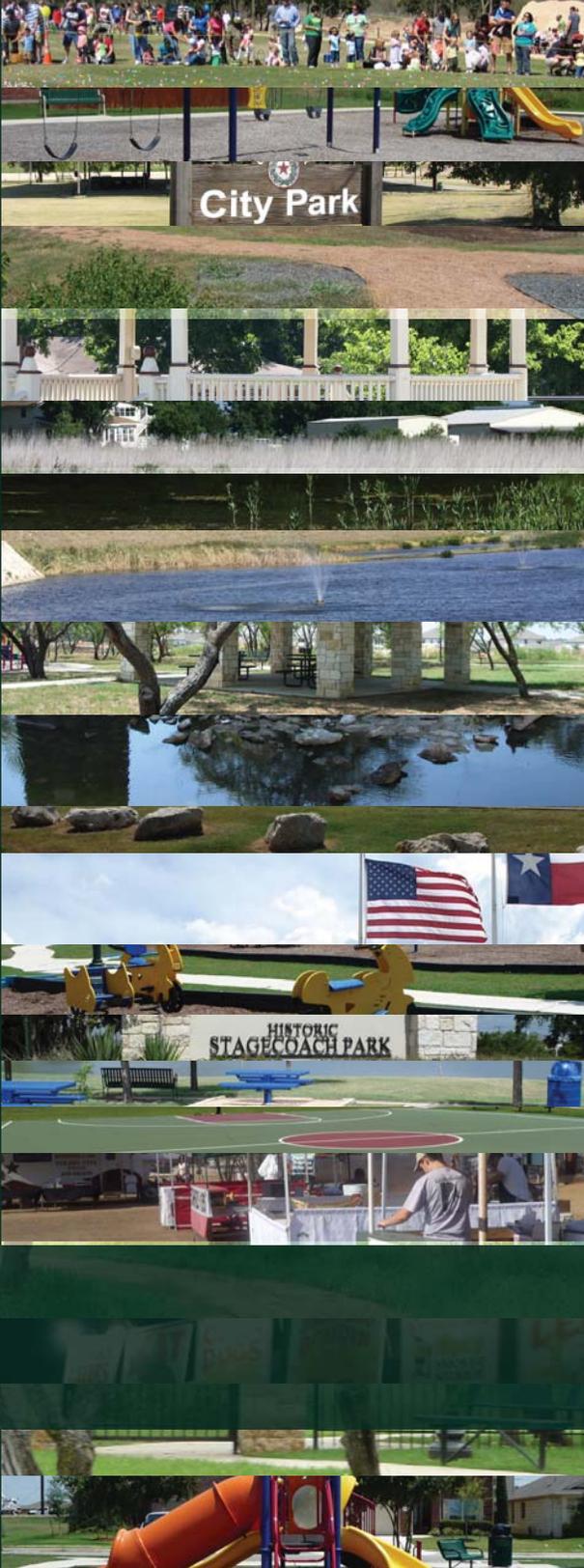
City Park 2005 Concept



City Park 2008 Concept

Stoneridge Park Concept





CHAPTER 3

plan development process and public input

PUBLIC INPUT PROCESS

Public input is a critical part of any planning process. Public entities work for their citizens by providing and managing the types of park facilities the residents and taxpayers of the community want to have. In essence, our citizens are our "customers" and it is the City's responsibility to provide what our customers seek. In the parks planning process, citizen input helps identify what types of existing facilities are being used, where key deficiencies may occur, and where the citizens of Buda would like to see their funding targeted. In other words, the residents of a community determine what they want to have in their city through their current use of those facilities, and through their input.

This master plan incorporates an extensive amount of public input, utilizing several alternative methods. By using these methods, feedback from many varying parts of the community were received, leading to a broader consensus on the direction that the master plan should take. Direct written responses were received during the park planning process from a total of 470 residents, or one out of every 16 residents in Buda. The multiple methods that were used to generate citizen input include:

- Citywide mail-out survey
- Online survey
- Intercept surveys at City Park
- Interviews with festival organizers
- Citywide public input meetings/open house
- Presentations and workshops with the Parks and Recreation Commission and City Council

MAIL-OUT AND ONLINE SURVEY RESULTS

A citywide mail-out survey and a companion online survey were conducted as part of the parks and recreation planning in the Spring of 2012. The surveys were designed to examine residents' current participation in recreational activities; and they also assessed recreational needs in Buda. The survey was conducted by a professional public input firm, Raymond Turco & Associates, who has extensive experience in recreation attitude surveys.

Survey methodology - A mail-out survey was sent to every home in Buda through the water bill. The online survey was linked through the City's website, and was available to all residents in Buda and the ETJ. Approximately 257 mail-out surveys and 96 online surveys were completed.

Survey Results

Over the next several pages, the key results of the mail-out and online surveys are shown and compared. Cumulative results of the two surveys can be found in Appendix A of this master plan.

What are your favorite recreation activities?

Residents were first asked what their favorite recreation activities are to participate in. This establishes a baseline of what activities people enjoy doing in Buda. The top five activities are listed below.

Mail-out Survey

1. Walking/hiking	77%
2. Going to festivals	51%
3. Walking the dog	49%
4. Swimming	48%
5. View nature/wildlife	47%

Online Survey

1. Walking/hiking	75%
2. View nature/wildlife	59%
3. Swimming	56%
4. Going to festivals	54%
5. Walking the dog	45%

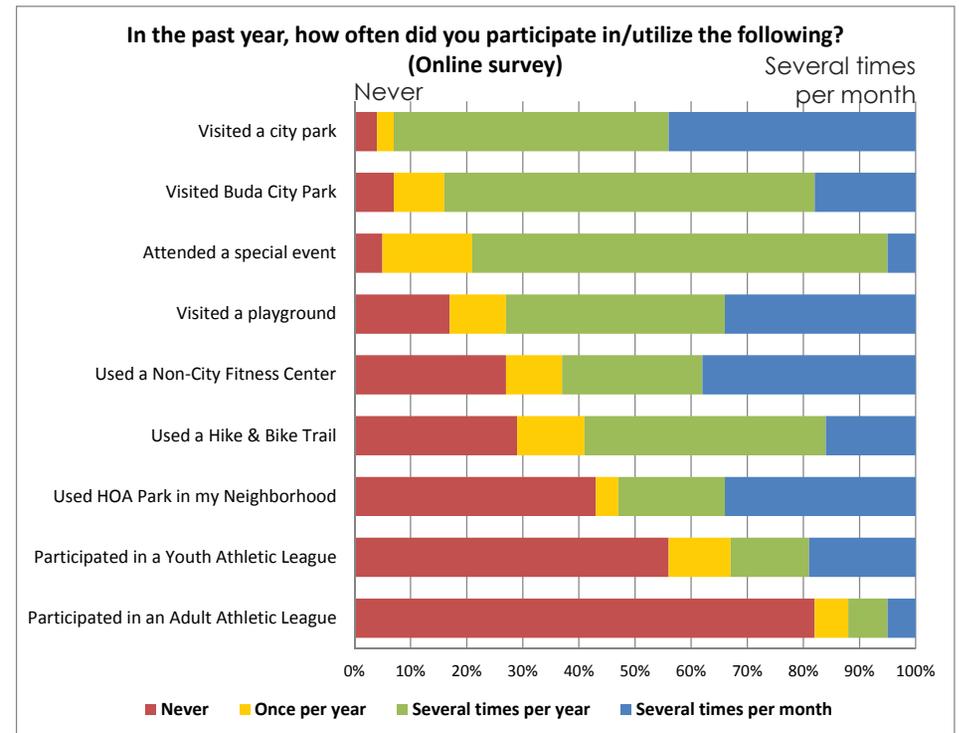
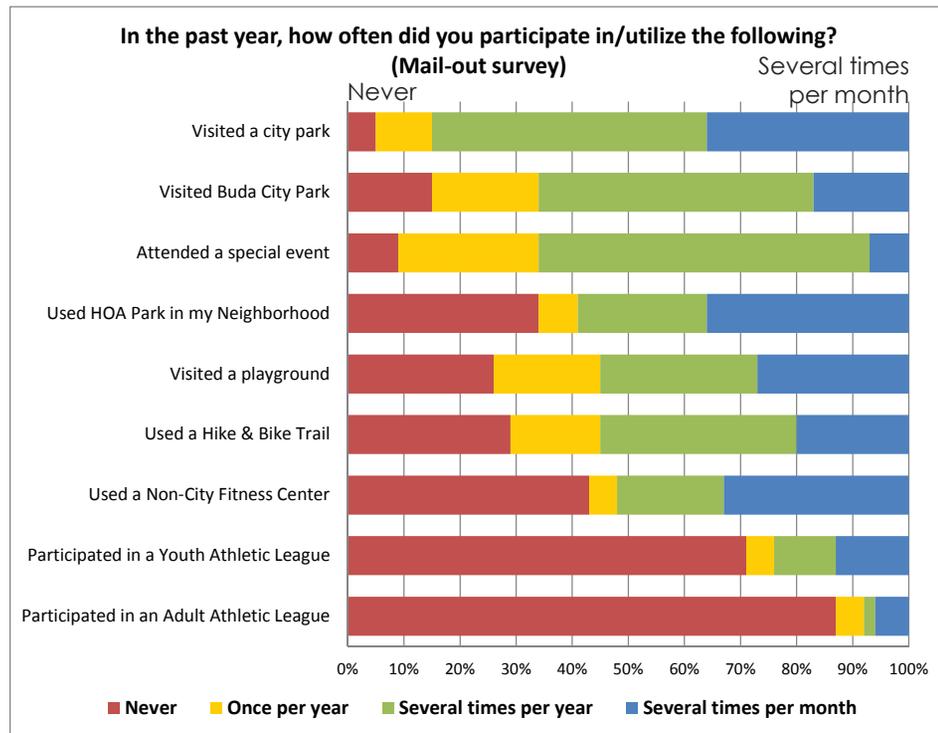


How often did you or family participate in or utilize the following within the past year?

36% of those who participated in the mail-out survey and 44% of those who took the online survey indicated that they have visited a city park several times per month within the past year. Moreover, 96% of those who participated in the mail-out survey and 97% of those who took the online survey said they visited a city park at least once within the past year. This demonstrates a high level of usage for parks in Buda.

66% of mail-out survey respondents said they have visited Buda City Park and attended a special event in Buda at least several times per year in the past 12 months. 84% of online survey respondents have visited Buda City Park several times per year in past 12 months, and 79% have attended a special event in Buda.

Very few respondents have participated in an adult or youth athletic league within the past year. For adult athletic leagues, only 8% of mail-out survey respondents and 12% of online survey respondents indicated they have participated within the past year. Youth athletic leagues had a higher level of participation, with 24% of mail-out and 33% of online survey respondents indicating their children had participated within the past year.



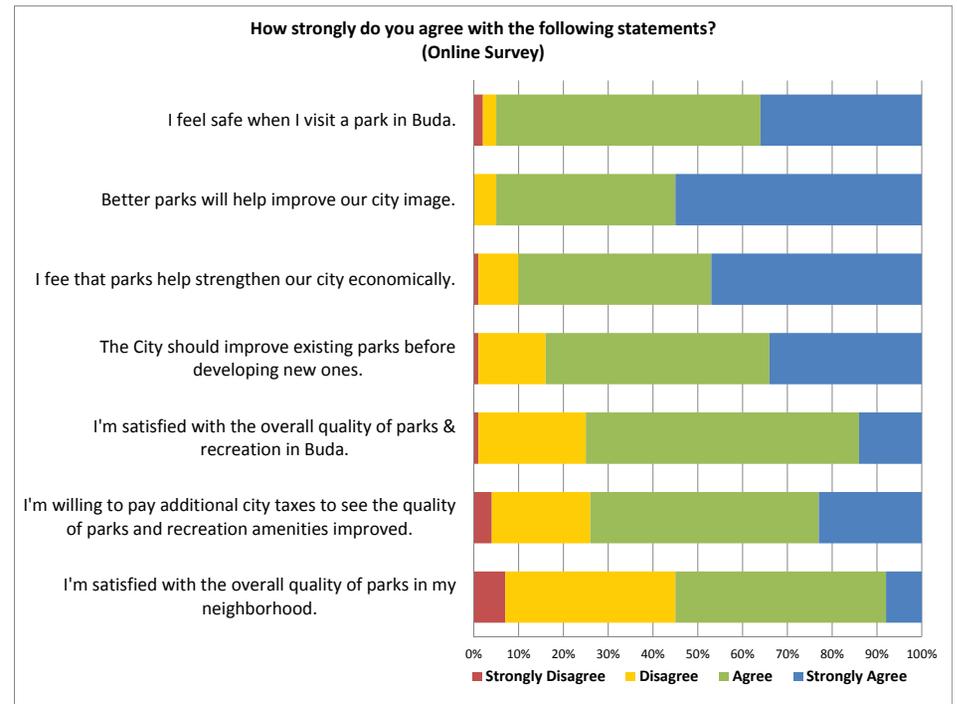
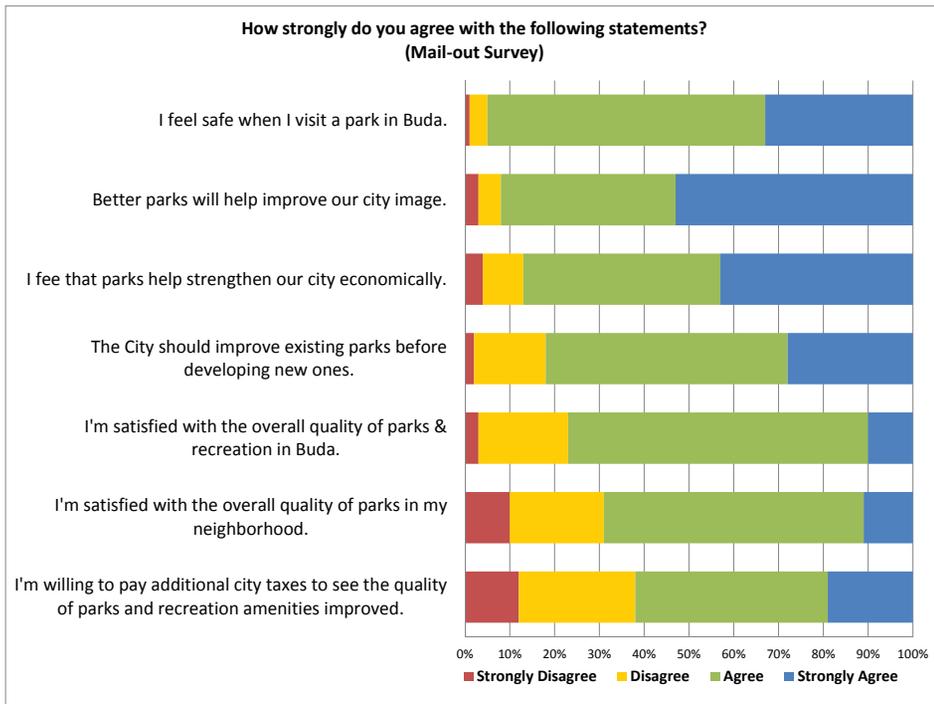
How strongly do you agree with the following statements about parks in Buda?

Overwhelmingly, the vast majority of survey respondents (95%) feel safe when they visit a park in Buda. This reflects the overall quality of life in Buda and the small-town feel that brought people to move here. During the Comprehensive Plan, people consistently remarked how they felt safe living in Buda and wanted to maintain that small-town feeling even as the City grew. Well maintained and visible parks are just one attribute that makes Buda feel inviting and safe.

Similarly, the majority of survey respondents agree that better parks will help improve Buda's city image. 92% of mail-out survey respondents and 95% of online survey respondents either agree or strongly agree with that statement.

55% of online survey respondents and 69% of mail-out survey respondents indicated they are satisfied with the overall quality of parks in their neighborhood.

Conversely, 77% of mail-out survey respondents and 75% of online survey respondents indicated they are satisfied with the overall quality of parks and recreation in Buda. This indicates that while people are satisfied with parks, they are not as satisfied with the parks near where they live. Any survey of residents in the future regarding parks should include these questions, and the City should strive to increase both percentages when updating this master plan in the future.



What is your favorite park in Buda?

Stagecoach and City Park consistently ranked as the most favorite parks in Buda. This was consistent with the other forms of public input received.

Mail-out Survey

- 1. Stagecoach 42%
- 2. City Park 38%
- 3. Bradfield Park 5%
- 4. Garlic Creek Park 4%
- 5. Whispering Hollow 3%

Online Survey

- 1. Stagecoach 50%
- 2. City Park 40%
- 3. Whispering Hollow 1%
- 3. Bonita Vista 1%
- 3. Stoneridge 1%

How frequently do you visit that park?

Most of the survey respondents visit their favorite park several times per year. However, a large percentage (43% of mail-out and 51% of online) visit their favorite park several time per month or more. This again demonstrates a high usage of the parks in Buda.

Mail-out Survey

- Several times per week 12%
- Several times per month 31%
- Several times per year 43%
- Once per year or less 14%

Online Survey

- Several times per week 10%
- Several times per month 41%
- Several times per year 43%
- Once per year or less 6%

What amenities or features would you add to improve that park?

The top three amenities to improve the existing parks were the same for both surveys - trails, swimming pool, and updated restrooms. The top five most mentioned amenities or features to improve existing parks are listed below for both surveys.

Mail-out Survey

- 1. Trails/paths/connections/sidewalks 29%
- 2. Swimming pool 14%
- 3. Updated/clean restrooms 11%
- 4. Swings/playground equipment 8%
- 5. Shade/trees 7%
- 5. Lighting/improved security 7%

Online Survey

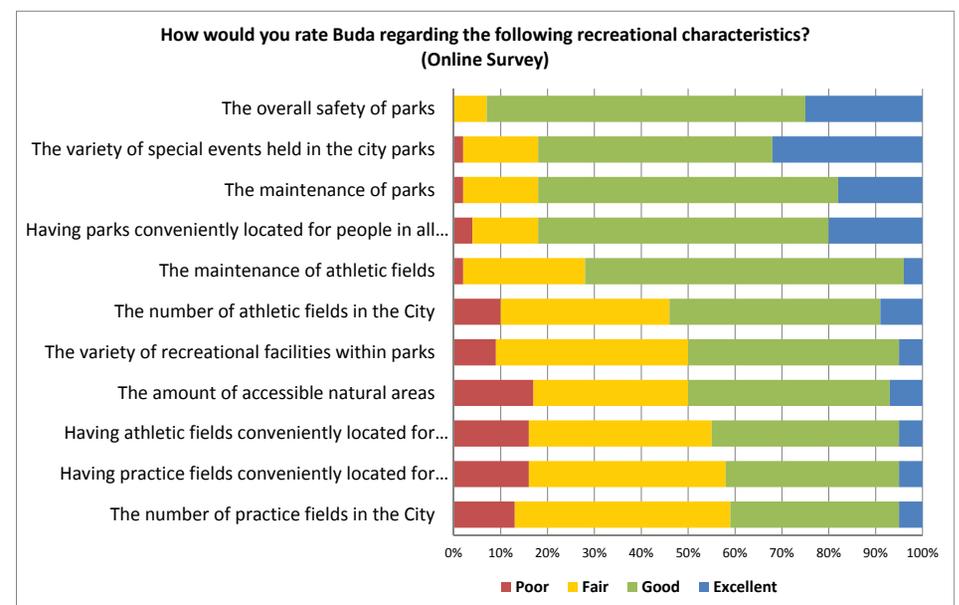
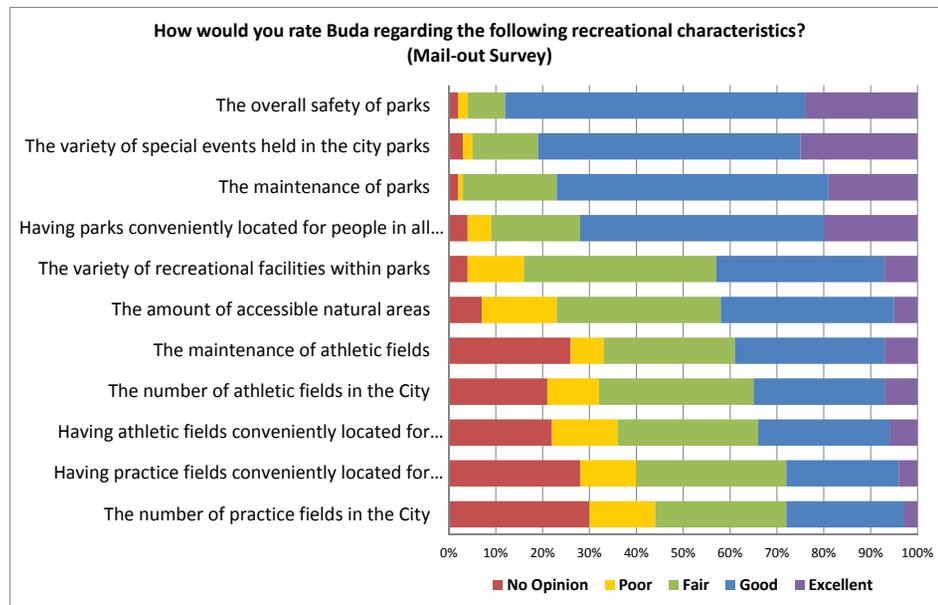
- 1. Swimming pool 21%
- 2. Updated/clean restrooms 14%
- 3. Trails/paths/connections/sidewalks 13%
- 4. Swings/playground equipment 9%
- 5. Lighting/improved security 7%
- 5. Picnic tables/pavilions 7%



How would you rate Buda regarding the following recreational characteristics based on whatever impressions you may have?

The two recreational characteristics that ranked the highest among survey respondents were (1) the overall safety of parks and (2) the variety of special events held in city parks. The large majority of survey respondents also feel that (3) the maintenance of parks and (4) having parks conveniently located for people in all areas of Buda is either good or excellent.

The recreational characteristic that ranked the lowest was the number of practice fields in the City. There is a severe deficit of practice fields in the City. While it was shown earlier that few survey respondents participate in athletic leagues, practice fields are a key necessity to ensure that game fields, such as those found at the Sportsplex, remain at a high quality, tournament level.



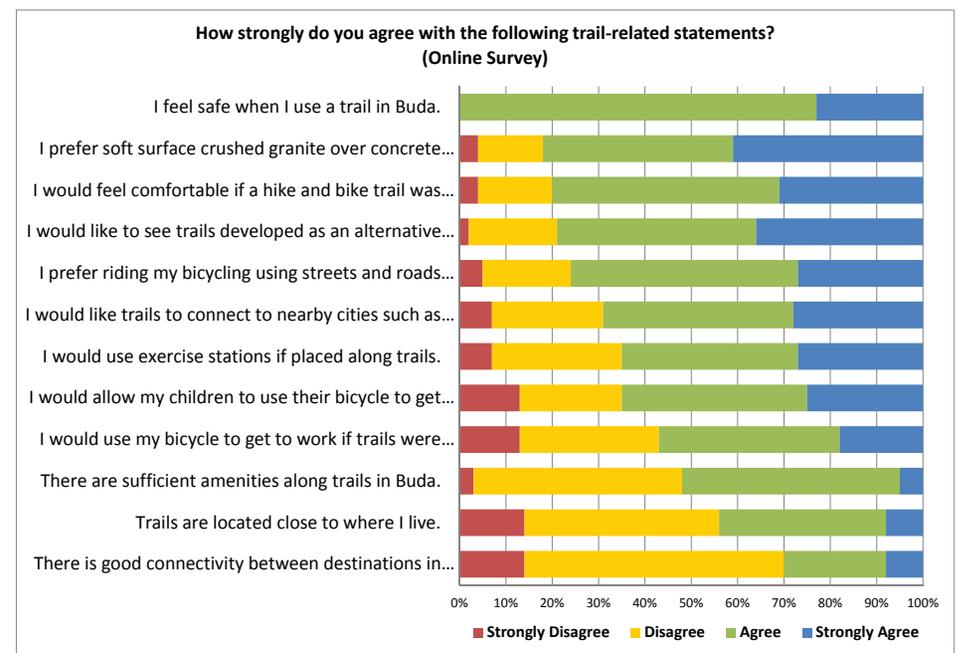
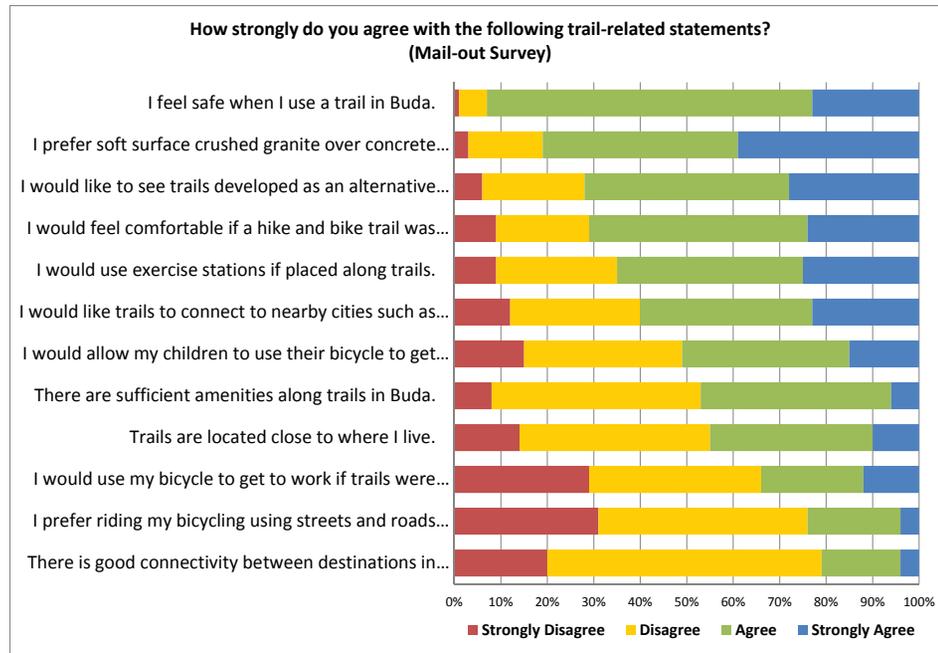
How strongly do you agree with the following trail-related statements?

During the initial public input gathering phase, trails were ranked as one of the most needed and desired recreation facilities. The survey included trail specific questions to know the types of trails and the kind of amenities that residents want along trails.

93% of mail-out survey respondents and 100% of online survey respondents agree that they feel safe when using a trail in Buda. One of the most important considerations when constructing new trails is maintain this high level of safety.

At least two-thirds of the survey respondents agreed that they prefer soft surface crushed granite trails; would like to see trails developed as an alternative means of transportation; and would feel comfortable if a trail was located behind their home.

However, survey respondents strongly disagreed or disagreed that there is good connectivity between destinations via trails; and that trails are located close to where they live. This indicates a need for a complete network of trails that connects neighborhoods in Buda to area destinations.



Which of following destinations would you want trails to connect to?

At least two-thirds of survey respondents want trails to connect to parks, the downtown area and along the creeks in Buda. The top ten destinations for both surveys are listed below.

Mail-out Survey

1. Parks	72%
2. Along creeks	68%
3. Downtown/City Park	63%
4. Sportsplex to Downtown	40%
5. City Hall/Library	38%
5. Restaurants	38%
7. Shopping	36%
8. Other nearby neighborhoods	33%
9. YMCA	30%
10. Schools	29%

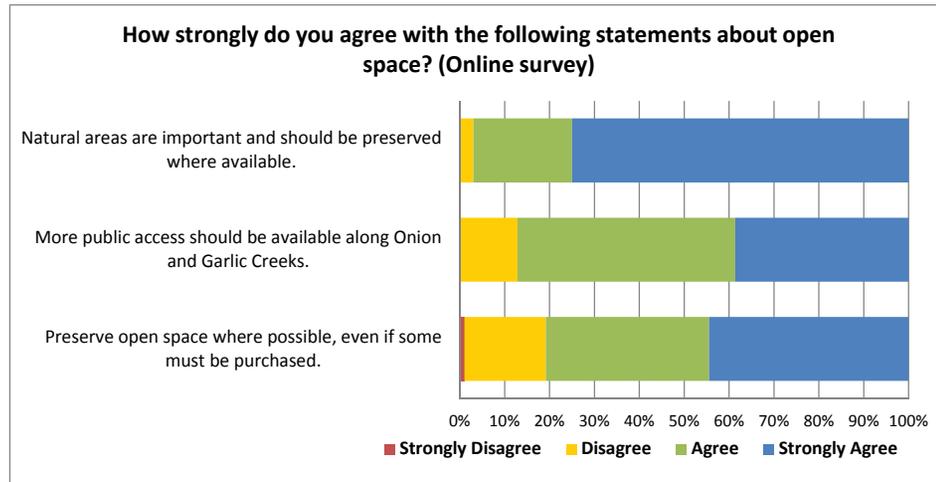
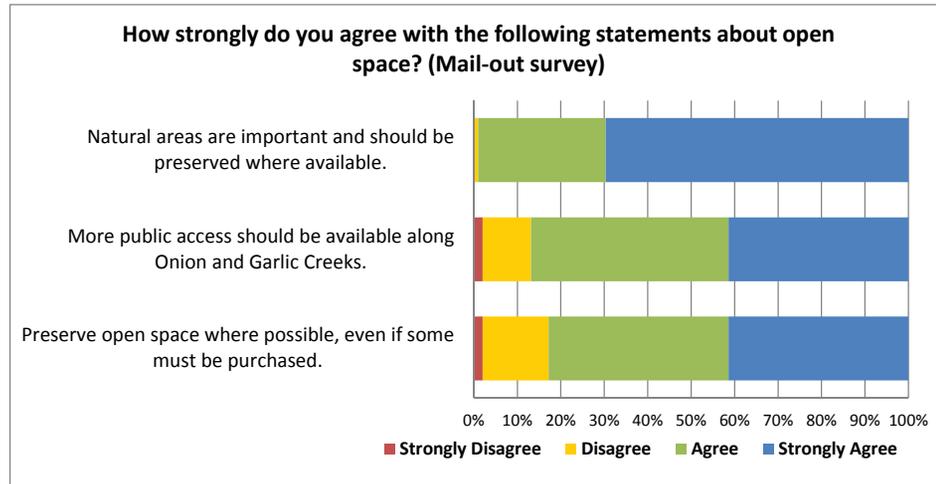
Online Survey

1. Parks	74%
1. Downtown/City Park	74%
3. Along creeks	70%
4. Sportsplex to Downtown	53%
5. Schools	51%
6. YMCA	45%
7. City Hall/Library	44%
8. Churches	41%
9. Other nearby neighborhoods	38%
10. Shopping	36%



How strongly do you agree with the following statements about open space?

Almost all of the survey respondents (98% of mail-out and 97% of online) agree that natural areas are important and should be preserved where available. Likewise, 82% of mail-out survey respondents and 80% of online survey respondents agree or strongly agree that Buda should preserve open space where possible even if some must be purchased.



How should Buda’s drainage corridors and detention basins be improved to beautify the City?

One complaint that came out of the Comprehensive Plan public input was the drainage corridors and detention basins in Buda take away from the City’s natural beauty and are often unattractive. During this survey, residents were specifically asked how they thought the drainage corridors and detention basins should be aesthetically improved or enhanced. The responses for both surveys are shown to the right.

The more popular choice on both surveys was to improve the drainage corridors and detention basins with park-like features (such as trails, pedestrian lighting and minimal landscaping) even if it increases maintenance costs. However, before any improvement is made, a more detailed study of the site should be done to ensure that the actual purpose of the site (storm water collection, flood control, etc.) is not impeded.

Mail-out Survey

1. Improve with park-like features even if it increases maintenance costs **45%**
2. Maintain in a more natural state **33%**
3. Remain as they currently are **22%**

Online Survey

1. Improve with park-like features even if it increases maintenance costs **57%**
2. Maintain in a more natural state **29%**
3. Remain as they currently are **14%**



INTERCEPT SURVEYS

Over the course of one weekend during Buda Fest 2011, the planning team surveyed visitors to City Park and the Downtown Greenbelt to gauge people's initial impressions of Buda's parks. A total of 62 surveys were collected. The results are discussed below.

- The average age of survey respondents was 40 years old.
- 84% live in the City of Buda. 16% lived outside of Buda, and the majority of those respondents were from Kyle.

What do people **LIKE** about the park nearest to their home?

Respondents were asked to list the park that is nearest their home and what it is about that park that they like. The results are listed below.

Stagecoach Park

- Covered playground
- Restrooms
- Covered areas
- Trees
- Trail
- Pond
- Size
- It's close

City Park

- Size
- Open spaces
- Fun
- Nice facility

- Busy
- Covered pavilions
- Basketball area
- Clean playscape that's covered

Bonita Vista

- It's close to home
- Basketball court
- Swings
- Tables and benches
- Ok to take kids

Bradfield

- Close to home
- Beauty
- Ponds

Whispering Hollow

- Slides, playground equipment
- Quiet
- Small
- Walking path

Garlic Creek

- Close to home
- New playground

The most common features mentioned included playgrounds, covered pavilions, trails (things to do in the park) and ponds, trees, open spaces (natural features/beauty of the park).



What do people **NOT LIKE** about the park nearest to their home?

Respondents were also asked what they do not like about that park or what improvements they think should be made to that park. The answers are listed below.

Stagecoach Park

- No disc golf
- Restroom
- Need more signs
- Dangerous to cross Main St.
- Need more native landscaping
- Swings at playground
- Hours

City Park

- No speed limit signs
- Parking
- Restrooms dirty
- No pool
- Not enough equipment on playscapes
- Looks bare
- Not much area for toddlers
- No changing station in bathroom
- Dusty
- Needs charming stone walkway
- Events that are not public, unless fee is paid
- More trees/very little grass
- Water fountains

Green Meadows Park

- No water fountains

Bonita Vista

- It's very small

Bradfield

- Not a lot to do
- No swings
- No public parking
- More lights needed
- Need to stock lake for fish
- Leaky water fountains
- Add shade to playscape

Garlic Creek

- More trees
- Not very big

Sportsplex

- Need covered playscape

The most commonly mentioned items were needing more shade, especially over playgrounds; needing to update/clean the restrooms and add changing stations; needing to add swings to playground areas; and needing more landscaping. The suggested renovations to each park found in Chapter 6 will address these concerns.



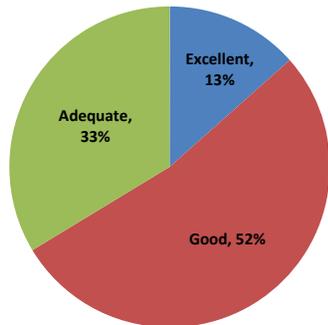
PUBLIC INPUT MEETINGS/OPEN HOUSE

Public meetings were held during the planning process to allow all residents the opportunity to voice their opinions and concerns. Residents of Buda were invited to an open house and public meeting held at Buda Elementary in the month of February, 2012. They were shown different illustrations representing potential types of recreational opportunities and facilities. The residents were asked to mark which of the facilities they liked and how important each idea was to them. The input received from the public meeting is discussed below.

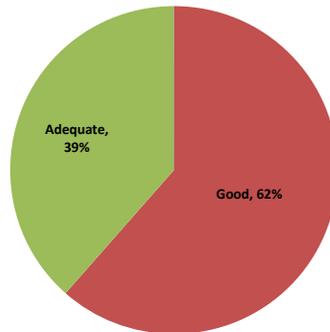
How would you rate the parks in Buda?

Two-thirds of the people who attended the public meeting felt the parks in Buda overall were either good or excellent. However, when it came to the parks in their neighborhood or area of the City, only 62% felt they were good and no one rated them as excellent. This result is similar to those in the mail-out and online surveys.

How would you rate parks overall in Buda?



How would you rate the parks in your area of the City?



What park facilities or amenities would you like to see added to the parks system in Buda?

The meeting attendees were given a list of potential recreation facilities and amenities, then asked to check the ones they would like to see added in the City. The number one response was trails, with 81% indicating they would like to see more trails added. The top responses from the meeting attendees are listed below.

Park Facilities or Amenities	
1. Trails	81%
2. Shade structures/trees	43%
3. Dog park	43%
4. Community garden	37%
5. Butterfly garden	37%
6. Splash pads	31%
7. More lighting in parks	31%
8. More special events	25%
9. Pavilions for picnicking	25%
10. Tennis courts	18%
11. Sand volleyball courts	18%
12. Playgrounds	18%



Public meeting



What types of special use facilities would you like to see added in Buda?

Attendees were shown a variety of different special use facilities and asked which ones they are most interested in. The most popular facility was an off-leash park (dog park) with almost half of those who attended the meeting being interested in that type of special facility. The results from the meeting attendees are listed below.

- Special Use Facilities**
1. Off-leash park (dog park)
 2. Multi-purpose sports fields
 3. Shade over playgrounds
 3. Lighting in parks
 5. Splash pads
 5. Butterfly gardens
 5. Botanical gardens
 5. Disc golf/Frisbee golf course
 9. Practice fields
 10. Exercise stations
 10. Challenge course
 10. Festival area
 10. Community garden

What types of programs would you be interested in participating?

Attendees were shown illustrations of a variety of recreational programs that could be offered, and asked which programs they or someone in their family would be most interested in. The program with the highest level of interest was yoga; however, only 24% of those attended the meeting were interested in this program. The results are listed below.

- Programs**
1. Yoga
 2. Pottery
 3. Jazzercise
 4. Western dance
 5. Ballroom dance
 6. Spinning
 7. Photography
 8. Tai Chi

Top park facilities or amenities that are lacking?

The attendees of the public meeting were divided into three focus groups to discuss the issues and concerns of parks in Buda. They were asked to prioritize what facilities are lacking and what improvements should be made to the parks. The top park facilities or amenities that are lacking were noted as:

- Access to Onion Creek
- Multi-use sports fields
- Green education/rain reclamation
- Shaded play areas/trees
- Off-leash park
- Water feature/splash pad/pool
- Picnic tables and benches
- Exercise stations
- Citywide trail system
- Community garden



PARKS & RECREATION COMMISSION AND CITY COUNCIL WORKSHOPS

During initial workshops with the Parks and Recreation Commission and City Council, their issues, concerns and suggestions for the existing parks were noted.

City Council Suggestions

- Connectivity/trails between parks
- Enhance what is in each park
- More purple pipe for irrigation
- Add a pavilion in each of the parks
- More benches/places to sit
- Shade covers over playgrounds
- Parking at Bradfield Park
- Add landscaping at Stagecoach Park amphitheater
- Enhance City Park to make it a festival park

Parks and Recreation Commission Suggestions

- Splash park
- Take over Creekside swimming pool
- Update gazebo at the Greenbelt
- More benches and seating
- Bike lanes
- Things for adults like leagues, sand volleyball, Frisbee golf, driving range, yoga, zumba, etc.
- City announcement board/message board
- Trails
- Shade around playgrounds and seating areas
- Increase parking





CHAPTER 4

park standards and existing inventory



PURPOSE OF THE EXISTING PARK INVENTORY

Knowing what parks are in a park system is one of the traits of an outstanding parks system. It is important to understand what park, recreation and open space facilities are currently available and to assess the current condition of those facilities. This will in turn help to determine whether or not those facilities are addressing the current park and open space needs of the City.

Buda has an established network of neighborhood parks, larger community parks, and Home Owners Association (HOA) owned and operated parks. Often, the parks are well placed within the neighborhoods they serve and are well maintained. This section begins to identify where park service is lacking, as well as park

standards, and the general condition of each park in Buda. The park categories build upon the standards established in the 2002 Buda Comprehensive Plan.

“Let us leave a splendid legacy for our children. Let us turn to them and say, this you inherit: guard it well, for it is far more precious than money, and once destroyed, nature’s beauty cannot be repurchased at any price.”

Ansel Adams, US Photographer

PARK CATEGORIES

This master plan uses national and state guidelines which identify three broad categories of parks. These are:

- **Local, Close to Home Parks** - These are usually located within the community served by the facility. It includes pocket parks, neighborhood parks, community parks, and HOA parks. Trail corridors, greenbelts, and in some cases, linear parks may also be considered Close to Home Parks.
- **Regional Parks** - In Buda, these parks are usually located within an half hour to one hour driving distance for most of its visitors. Parks in this category serve a number of communities,

and include city regional parks, park reserves, state parks, and national parks.

- **Unique Parks** - These parks can be either local or regional. They are defined as areas that are unique in some way, whether because of the physical features of the park, or because of the types of facilities provided within them. Parks in this category may include linear parks, special use parks, land conservancies, nature preserves, sports complexes, or botanical gardens.

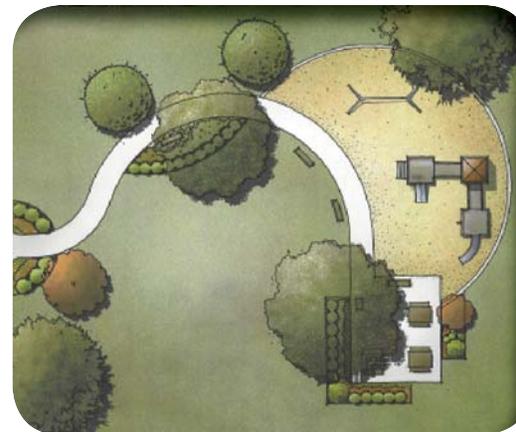
PARK TYPES & STANDARDS IN BUDA TODAY

The primary focus of this plan is City of Buda owned and operated parks. HOA parks are considered where they may influence park needs in Buda.

Pocket Parks

This type of park is usually less than one acre in size. Pocket parks are accessed by walking or bicycling. Vehicle access and parking is not typically needed because of their small size. Amenities in pocket parks can include benches, landscaping, playgrounds, and other focal features. Size is not a key factor of the typical pocket park, but rather the quality of the landscaping and features that go into the park. These parks are generally

found in a residential or urban context, such as downtown. They are meant to serve as pockets of open space in the midst of mainly developed areas.



Typical pocket park



Neighborhood Parks

Because neighborhood parks are within easy walking or bicycling distance, they form the foundation for recreation in most cities like Buda. Neighborhood parks provide amenities for an entire family and typically serve one large or several small neighborhoods. Because of the physical topography, neighborhood parks can vary in size. Ideally, neighborhood parks in Buda should range from 1 to 15 acres in size.

Accessible - Neighborhood parks should be accessible within a quarter mile to a half mile radius of residents. Neighborhood parks should be accessible without having to cross major arterial streets, and should provide easy access for the users that surround it. One cost effective alternative is to locate neighborhood parks next to elementary schools because the City and the school district can share acquisition and development costs which results in more efficient use of tax dollars.

Location - An ideal location for neighborhood parks is to be in the center of the neighborhoods it is meant to serve. Also, having local or minor collector streets on at least two sides of the park allows for easy pedestrian and bicycle accessibility.

Parking - Parking varies based on the size of the park, the availability of safe on-street parking, the facilities offered, and the number of users the park will attract. In general, the use of trails should be encouraged to decrease dependency on automobiles. Depending on the carrying capacity of adjacent streets, parallel on-street parking may provide sufficient

parking space. Opportunities for shared parking may be possible with surrounding compatible facilities such as libraries, schools, city buildings, etc.

Facilities - Restrooms typically are not placed in neighborhood parks because they increase maintenance, and these parks are ideally within walking distance of a person's home. Typical neighborhood park facilities can include:

- Playground equipment for ages 2-5 and ages 6-12, with adequate safety surfacing around the playground and shade structures over the playground
- Unlighted practice fields for baseball/softball and soccer/football
- Unlighted multi-purpose courts for basketball, volleyball, or tennis
- Open space areas for unorganized play
- Picnic areas with benches, picnic tables, and cooking grills
- Shade pavilions or gazebos
- Jogging/exercise trails (if no sidewalk is present along street), connecting to nearby neighborhoods
- Water fountains
- Parking, if space is available
- Restrooms if appropriate

Design - The overall design and layout of a neighborhood park is important to its final quality and timelessness. These parks should generally be designed with the programmed space - playgrounds, pavilions, basketball courts, etc.



Examples of existing neighborhood parks in Buda from top to bottom: Bonita Vista Park, Garlic Creek Park, and Stoneridge Park



- clustered into an “active zone” within the park. These areas need ample seating and shade to be hospitable year round. Constructing these areas near existing stands of trees is strongly recommended as this eliminates the years of waiting for shade trees to mature. The open/unprogrammed space should be visible from this activity area, but should be clearly delineated through plantings and hardscape features such as paved trails and seat walls. Finally, a looped trail is today considered a preferred component of a neighborhood park.

How the park integrates with the surrounding land uses - residences, a school, a wooded area, etc. - is crucial to the quality of experience within the park. When a road borders the park, it should be ensured that the houses across the street face the park. When houses must back up to a park, ensure that fencing between the house and the park is transparent wrought iron fencing (or similar) rather than wooden, tall, privacy fencing. Transparent fencing allows a softer transition between park and residence,

and provides for informal surveillance of the park. In the future, preferably no more than 25% of any park’s boundary should be bordered by the backs of houses, otherwise it would create a sense of uncomfortable enclosure within the park. When a park is constructed adjacent to a school, ensure that the two sites interact: work with Hays CISD to have paved connections between the school and the park.

Lastly, it is important to design neighborhood parks that are unique in character, respond to the surrounding environment, and provide unique experiences for the park’s users.



Community Parks

These parks are larger and are meant to serve a group of neighborhoods or a portion of the City. Community parks are usually reached by automobiles on collector streets, as well as by pedestrians and bicyclists who live nearby. Community parks are more than 15 acres in size, and have a one mile service radius. The typical community park should be large enough so it can provide a variety of facilities while still leaving open space for unstructured recreation and natural areas. The park should also have room for expansion so that new facilities can be added to continue to attract users.

Type - There are essentially two types of community parks: active and passive. Each type has a different set of facilities provided and an overall different character. Active community parks typically focus on high-intensity recreation such as lighted competitive game fields, recreation centers, and manicured vegetation. Passive community parks, on the other hand, typically have low-intensity uses such as hiking, picnicking, and free play. Passive community parks generally have a large amount of natural and unprogrammed space in the park. When a community park is large enough, it can sometimes be both types by having areas that are active and areas that are passive within the same park.

Location - Because of the potential for noise and bright lights at night, community parks should be buffered from adjacent residential areas. Since community parks are usually reached by automobiles, it is best to locate them near a

major thoroughfare which provides easy access from different parts of the City.

Parking - Parking varies based on the facilities provided and the size of the park. Additional parking is needed to accommodate facilities such as athletic fields or swimming pools that can be located in community parks. The National Recreation and Parks Association (NRPA) recommends a minimum of five spaces per acre with additional parking for added facilities. The specific amount of parking provided in each park should be determined by the facilities provided in that park.

Facilities - Typical community park facilities include:

- Jogging/exercise trail (recommended at least one mile in length), connecting to nearby destinations
- Covered picnic shelters with tables and grills
- Playground equipment for ages 2-5 and ages 6-12, with adequate safety surfacing around the playground and shade structures over the playground
- Open space areas for unorganized play
- Lighted athletic fields (suitable for organized competitive events)
- Restrooms
- Sufficient off-street parking based on facilities provided and the size of the park
- Security lighting
- Splash pads/spraygrounds
- Covered basketball court



Examples of existing community parks in Buda from top to bottom: Bradfield Park, Stagecoach Park, Buda Sportsplex



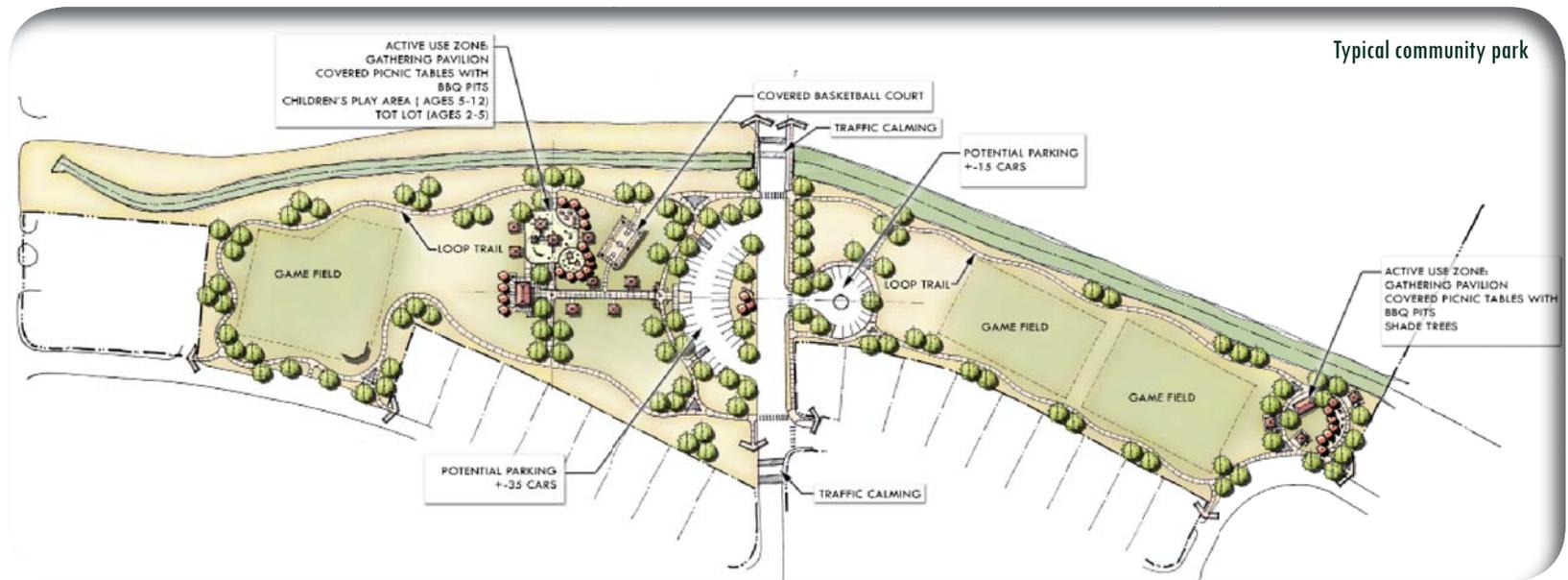
- Other facilities as needed which can take advantage of the unique characteristics of the site such as nature trails, fishing ponds, swimming pool, off-leash parks, amphitheatres, recreation centers, sand volleyball courts, or tennis courts.

Design - As with neighborhood parks, the overall design and layout of a community park is important to the park's final quality and timelessness. Similarly, activity zones of programmed space are also important within community parks. Playgrounds, pavilions and basketball courts make up one type of active zone, while ball fields, concession stands and storage buildings make up another type. Again, providing shade by means of constructing the former of these two activity zone types near existing stands of trees is strongly recommended, as is the provision of benches and picnic tables. In community parks and other large parks, it is often desirable to delineate between activity zones and unprogrammed areas by the use of natural features such as stands of trees or creek corridors where available. This helps to break up the park visually and delineate space. Paved trails should connect these various areas with each other, as well as provide a walking/jogging loop for recreational use.

The interaction between a community park and surrounding areas is crucial to the quality of experience within the park. Because community parks are often located outside of neighborhoods, there are different considerations than

there are with a neighborhood park. As with neighborhood parks, it is important that the park is bordered by neighborhood roads and, if feasible, creeks or other natural areas. When development does border the park, how the edge is addressed depends on the type of development. If the development is residential, ensure that the fencing between the houses and the park is transparent. However, if the development is industrial in nature or otherwise aesthetically unpleasing or potentially a nuisance, the border should be fenced and heavily planted with trees and shrubs to soften the edge.

As a final consideration, it is important to understand that active community parks themselves can sometimes be a nuisance if near residential neighborhoods. Bright lighting at night, excessive noise from cheering spectators, or the overflow of parking onto neighborhood streets can all become major issues. If an active community park is to be developed in close proximity to a neighborhood, it should be designed with an adequate landscape buffer to provide visual screening and sound reduction, and design parking areas away from housing.



Regional Parks

Regional parks are intended to serve the entire city and very often become the premier park in that area. It is land that is dedicated as parkland due to its regional importance or relevance. This may be due to its natural characteristics including habitat, geological formations, and/or aesthetic beauty. Other reasons may be the role that the particular site plays in issues of regional importance: e.g. historical memorial, habitat protection, or ecological service including water conservation and flood protection. The size of a



City Park is considered Buda's only regional park

regional park can vary from less than ten acres to several thousand acres, depending on the purpose and character of the site. Regional parks are often under the ownership and control of county or state government.

Regional parks should be located near highways or major arterials to

provide easy access from different parts of the city. Because of the potential for traffic, noise and bright lights, regional parks should be buffered from adjacent residential areas.

Special Use Parks

These types of parks are designed to accommodate specialized recreational activities. Because the facility needs for each activity are different, each special use park usually provides one or only a few activities. Examples of special use parks include:

- Athletic complexes
- Swimming pool/aquatic centers
- Tennis complexes
- Skate parks

- Off-leash parks
- Golf courses
- Open space preserves or natural area parks
- Linear parks
- Downtown plazas

Athletic complexes and golf courses are the most common type of special use parks. Athletic complexes seek to provide fields for organized play in a location that can accommodate the traffic and noise that a large number of users can generate. Athletic complexes should include sufficient fields so that leagues can congregate at one facility and not have to spread out in different locations across the city. Evening activities at athletic complexes necessitate high-intensive lighting that can become a nuisance when the complex is located too close to residential areas. To address this, wide buffers should be placed around such complexes and/or they should be located adjacent to commercial or industrial areas.

Nature parks and preserves are a critical part of the land use system in any metropolitan area. They provide wildlife habitat, flood control, and places for passive recreation. These parks can greatly vary in size depending on the resources available, but are meant to have a citywide service radius.

The benefit and inclusion of places that are natural areas or unprogrammed open space has been largely overlooked in the context of typical park master plans. Conservation and preservation are especially valuable as, over time, natural resources disappear in our cities and natural habitat is wiped out. The value of walking through historic and natural places that have been left untouched is immeasurable. Such opportunities are rapidly becoming rare, and the identification and protection of such areas is urgently needed in most cities today. Cities that marshal the will and act quickly to conserve natural resources demonstrate the foresight and resolve necessary to ensure



that future generations may enjoy something of beauty and timelessness.

Natural areas and open space are part of a city's resources and are its natural gems. The value of such land may have visual, historic, and cultural appeal that imprints upon the visitor, creating a sense of place and lasting memories. Wilderness, creeks, ponds, prairies and particular geologic formations or topographic change may all be considered elements worthy of protection, public access, and celebration. As unprogrammed space, there is the added benefit of these areas as self-maintaining. There may be the occasional need to check for hazards, but maintenance is generally not a significant factor. Other than recreational and

"We must make every piece of space do double and triple duty, and we have all the tools and precedents we need. With ingenuity, we can make the smaller spaces seem larger; we can find ways to link them and to emphasize their continuities; we can make them far more accessible to people, and if not to the foot at least to the eye. It is the effect of open space we are seeking, not just the space, and with this approach a given acreage of open spaces can be knit into a pattern more pleasing, more useful, and seemingly more expansive than a far greater acreage laid out in conventional fashion."

-William H. Whyte, The Last Landscape-

aesthetic opportunities afforded by natural areas, they also have huge economic value to society in terms of ecological services provided - functions such as water and air purification, carbon sequestration, flood control, pollination, air cooling, and positively effecting human health and well being.

Linear parks are open park areas that generally follow some natural or man-made feature that is linear in

nature such as creeks, abandoned railroad right-of-ways, power line corridors, drainage corridors, or utility easements. In Buda, most of the potential linear parks could be along Onion Creek or Garlic Creek. Properly developed to facilitate pedestrian and

bicycle travel, linear parks can serve to link or connect other parks in the local system, as well as schools, neighborhoods, the library, civic buildings, and other major destinations. They should also serve to help preserve open space. No specific standards apply to linear parks other than the park should be large enough to adequately accommodate the resources they contain.

Hike and bike trails, often found in linear parks, serve to provide active and passive recreation as well as connections between parks and other destinations within the City. A trails system should be established to serve both recreation needs and as a means of alternative transportation throughout the City. Such a system should provide each resident with quick and easy access to parks, retail, and employment areas.

An additional type of special use park is a **"special interest" park** which typically is developed as a skate park, off-leash park, or some other park designed to accommodate a special recreational need. Many cities only accommodate one park of each special interest type (e.g. only one skate park per city). Although in the future, demand from residents might be able to sustain two or more of each type of special interest park. Another popular alternative is incorporating special interest park areas into larger community or regional parks.



SIZE OF THE PARKS SYSTEM IN BUDA

The size of the parks system in Buda consists of a total of 14 city-owned parks that contain approximately 268.45 acres. The table to the right summarizes the existing parks. A review of the existing parks in Buda is shown on the following pages. Each review includes a summary of facilities in each park, as well as observations regarding the condition of facilities. Key potential improvements to each park are discussed in Chapter 6.

In addition to city-owned parks, there are 12 HOA parks and a YMCA within Buda's city limits and ETJ. These non-city parks contribute an additional 51.5 acres to the overall parks system. Buda also has four elementary schools, each with playgrounds and two with a walking track, and one middle school with two tennis courts, practice football field, and jogging track that add to the recreational amenities within Buda.

Immediately south of Buda, outside the city limits located off FM 2770, is the Hays Youth Sports Complex with five baseball fields and seven soccer fields. The Northern Hays County Optimist Club is located east of IH-35 near Kyle. This 20 acre sports complex offers youth baseball, softball, flag football, tackle football and cheerleading. Because of the close proximity to Buda, these complexes can help serve the athletic needs of the City.

Type	Park Name	Total Acres	Dev. Acres	Undev. Acres	Address	Sector
SU	Antioch Colony Park	0.65	0.65		135 Old Black Colony Rd.	W
N	Bonita Vista Park	0.8	0.8		309 Bonita Vista	C
C	Bradfield Park	30.7	30.7		140 Crescent Dr.	C
R	City Park	50.9	6.2	44.7	204 San Antonio Rd.	C
L	Cullen Country Park	14.8	14.8		211 Cullen Blvd.	W
L	Downtown Greenbelt	9.9	9.9		121 Main St.	C
N	Garlic Creek Park	28.0	1.1	26.9	1195 Heep Run	W
N	Green Meadows Park	3.1	3.1		2357 Green Meadows Ln.	E
P	Green Meadows Pocket Park	0.8	0.8		Green Meadows Ln.	E
SU	Jackson Tyler Norris Memorial Skate Park	1.0		1.0	480 S. Loop 4	C
SU	Sportsplex	62.3	42.3	20.0	310 Buda Sportsplex Dr.	W
C	Stagecoach Park	52.3	26.1	26.2	880 Main St.	C
N	Stoneridge Park	5.4	5.4		1131 Stone Rim Loop	E
N	Whispering Hollow Park	12.8	6.4	6.4	1160 Old Black Colony Rd.	W
Total		273.45	148.25	125.2		

- P = Pocket Park
- N = Neighborhood Park
- C = Community Park
- R = Regional Park
- L = Linear Park
- SU = Special Use Park



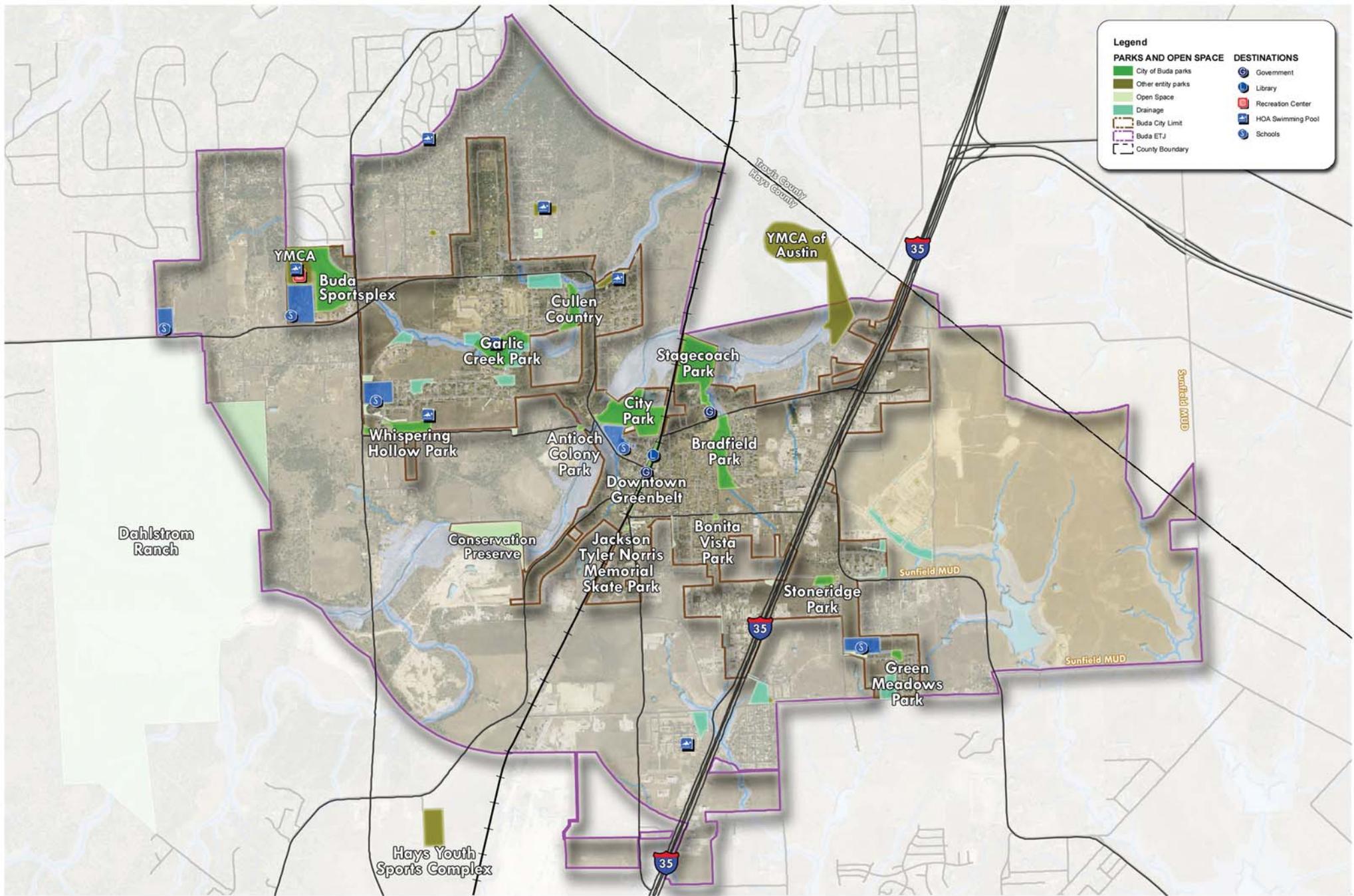
TABLE 10 - EXISTING PARKS INVENTORY (CITY-OWNED)

Park Name	Total Acres	BBQ Grills	Backstop	Baseball/ Softball Field	Bball Court	Benches	Bicycle Rack	Parking	Pavilions	Picnic Tables	Playgrounds	Ponds	Restrooms	Soccer Fields	Trails (linear ft)	Trash Bins	Water Fountains	Other*	Electrical
Antioch Colony Park	0.65					1										1			
Bonita Vista Park	0.8				1	2				2	1					2	1		
Bradfield Park	30.7	1				4				5	1	3				6	1		
City Park	50.9	1	3		2	13			2	7	1		1			18	2		X
Cullen Country Park	14.8					2		X		5	1				3,945	1			
Downtown Greenbelt	9.9					7	1	X		3			1		2,140	8	2	G	X
Garlic Creek Park	28.0				1	4	2	X	1	4	1				2,720	2	1		X
Green Meadows Park	3.1				0.5	8	1	X	1	4	1				1,185	3			
Green Meadows Pocket Park	0.8					2													
Jackson Tyler Norris Memorial Skate Park	1.0																		
Sportsplex	62.3			4		4	2	X	1	6	1	1	2	4	3,510	10	3	B	X
Stagecoach Park	52.3							X	1	9	1	1	2		9,815	5	2	A	X
Stoneridge Park	5.4	1			1	4		X	1	3	1			1		2	1		
Whispering Hollow Park	12.8	2				7		X	1	3	1		1		3,280	2	2		
Total	273.45	5	3	4	5.5	58	6		8	51	10	5	7	5	26,595	60	15		

* A - Amphitheater; B - Butterfly and Xeriscape Gardens; G - Gazebo

It should be noted that Buda currently does not have any splash pads, disc golf courses, sand volleyball courts, community gardens, a nature center, off-leash parks, city-owned swimming pools, or a rain-harvesting station.





Existing Parks

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



Antioch Colony Park

Type: Special Use Park

Acres: 0.65

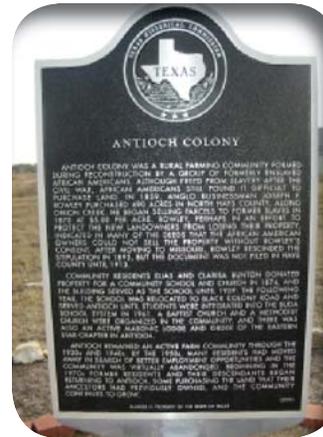
Sector: West

Amenities:

- 1 bench
- 1 trash bin
- Historic plaque

Condition: This special use park was developed in 2009 as an Eagle Scout project. The site and plaque, off Old Black Colony Road, is a tribute to a rural farming community of formerly enslaved African Americans formed around 1870 called Antioch Colony.

Because it is newly developed, the condition of the existing amenities is very good.



Bonita Vista Park

Type: Neighborhood Park

Acres: 0.8

Sector: Central

Amenities:

- 1 basketball court
- 2 benches
- 2 picnic tables
- 1 playground
- 2 trash bins
- 1 water fountain

Condition: This park is located in one of the older neighborhoods in Buda and is heavily used by the residents who surround it. While the picnic area is covered by nice shade trees, the playground has no protection from the sun. This park is also built in a detention area and is prone to flooding. During the public input process, residents noted that they thought this park was too small and did not like the size. However, because of its location, it is surrounded by roads on three sides and there is no room for expansion.



Bradfield Park

Type: Community Park

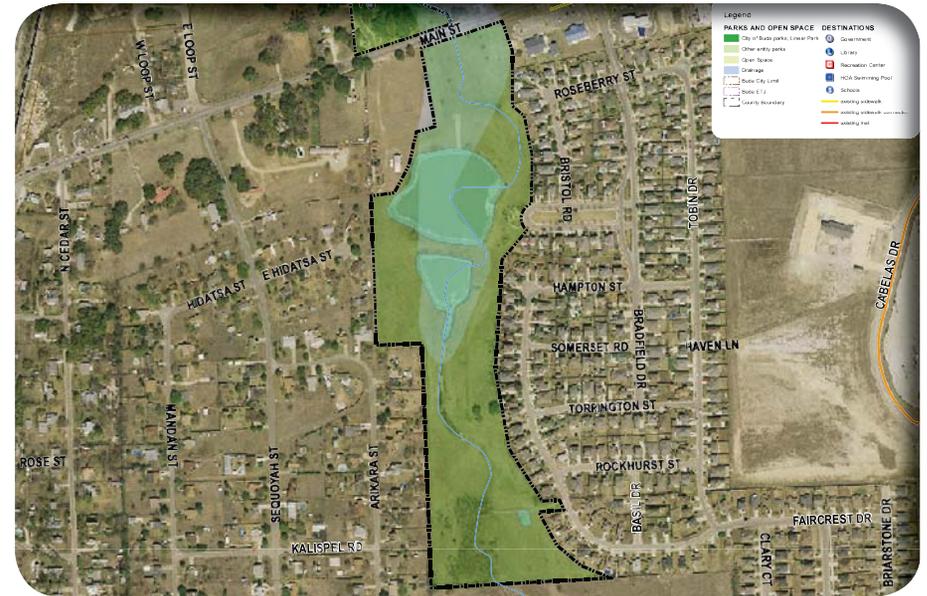
Acres: 30.7

Sector: Central

Amenities:

- 1 BBQ grill
- 4 benches
- 5 picnic tables
- 1 playground
- 3 ponds
- 6 trash bins
- 1 water fountain

Condition: Bradfield Park is one of the most popular parks in Buda. The ponds are currently used for fishing, and even sometimes for fishing tournaments held by Cabela's. This park has some of the greatest potential for improvements. During the public input process, the amenities that residents wanted to see added to Bradfield Park include: trails, swings, better seating areas, parking, easier access, and lights.



City Park

Type: Regional Park

Acres: 50.9

Sector: Central

Amenities:

- 1 BBQ grill
- 3 backstops
- 2 basketball courts
- 13 benches
- 2 pavilions
- 7 picnic tables
- 1 playground
- 1 restroom
- 18 trash bins
- 2 water fountains

Condition: City Park has been designated as a festival and community park; however, specific improvements are needed to ensure the quality of the park meets the needs of the festival organizers. Currently the restroom in the park is in poor condition. The park is not ADA accessible, especially when trying to access the playground area. The pavilion is in good condition, but is very basic. Minor upgrades to the aesthetics of it will improve the overall beauty of the park. The playground is in good condition, with a shade structure covering it. Picnic tables are scattered throughout the south end of the park, but very few are covered with shade. None of picnic tables are grouped together to accommodate large families or private events such as birthday parties or reunions. Specific recommendations for City Park can be found in Chapter 8 of this master plan.



Cullen Country Park

Type: Linear Park

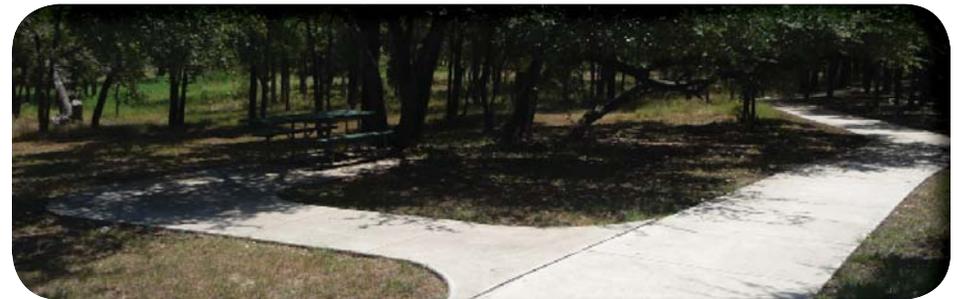
Acres: 14.8

Sector: West

Amenities:

- 2 benches
- Parking
- 5 picnic tables
- 1 playground
- 1 trash bin
- Trails (3,945 lf)

Condition: This park is set in a natural setting with minimal improvements. There is a trail that crosses through the entire park with a few picnic spots. There is a trailhead with parking off Cullen Blvd. This park is currently in excellent condition.



Downtown Greenbelt

Type: Linear Park

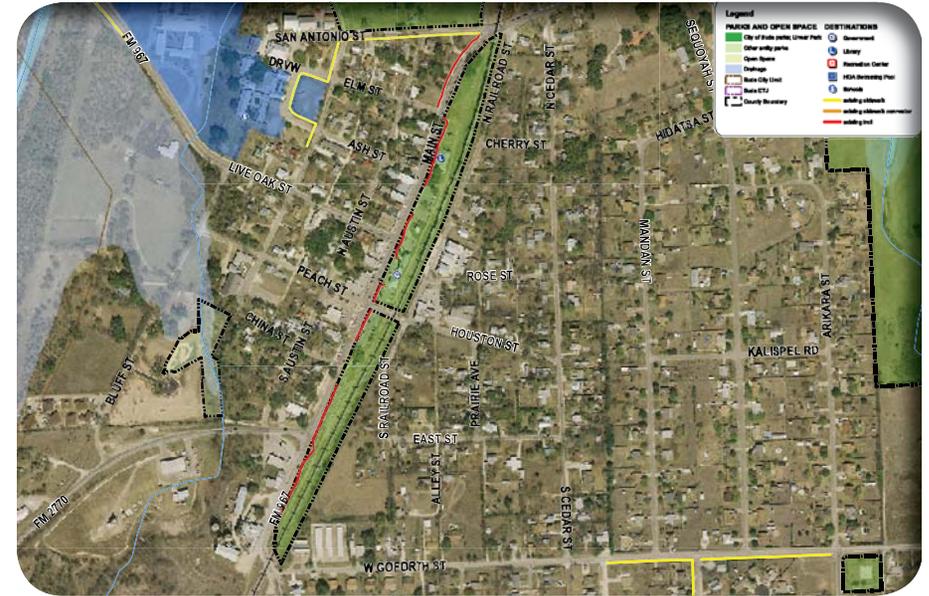
Acres: 9.9

Sector: Central

Amenities:

- 7 benches
- 1 bicycle rack
- 1 gazebo
- Parking
- 3 picnic tables
- 1 restroom
- 8 trash bins
- 2 water fountains
- Trails (2,140 lf)

Condition: The Downtown Greenbelt is located between Main Street and the railroad tracks. The library and City Hall are located within the Greenbelt; and some festivals use the Greenbelt for their events throughout the year. This area has some drainage problems, so if a big rain occurs days before an event, the event could be negatively impacted. The gazebo located north of the library is in adequate condition; however, the roof is no longer waterproof. The wood shingles are falling off and birds roast in there. The gazebo also needs painting. Some residents during the public input process wanted to see the gazebo renovated, as well as have a community center-type indoor building constructed on or near the Greenbelt. Residents also want more landscaping, better seating areas, shade, picnic areas/pavilions, more parking, lights, water fountains, and mile markers/signage. One high priority recommendation for this area is to extend the existing trail to the newly planned skate park, connecting it to Downtown and City Park. Also repair/upgrade the existing gazebo (replace roof, paint periodically).



Garlic Creek Park

Type: Neighborhood Park

Acres: 28.0

Sector: West

Amenities:

- 1 basketball court
- 4 benches
- 2 bicycle rack
- Parking
- 1 pavilion
- 4 picnic tables
- 1 playground
- 2 trash bins
- 1 water fountain
- Trails (2,720 lf)

Condition: The swimming pool and amenity center area is a private HOA park, while the pavilion, playground, trail and basketball court area is the public city park. Much of this park is left as an undeveloped natural area; however, it is located within the floodplain of Garlic Creek so very little improvements can occur. Garlic Creek Park has one of the most popular trails in Buda, constructed of crushed granite.



Green Meadows Park

Type: Neighborhood Park

Acres: 3.1

Sector: East

Amenities:

- 1/2 basketball court
- 8 benches
- 1 bicycle rack
- Parking
- 1 pavilion
- 4 picnic tables
- 1 playground
- 3 trash bins
- Trails (1,185 lf)

Condition: This park is located in one of the newer neighborhoods on the east side of the City. While there is a small parking lot for this park, it is located behind Tom Green Elementary and not the main road that accesses the park. Because this park is relatively new, the amenities are in good condition; however, there is very limited shade because the trees are newly planted as well.



Green Meadows Pocket Park

Type: Pocket Park
Acres: 0.8
Sector: East
Amenities:
 ■ 2 benches

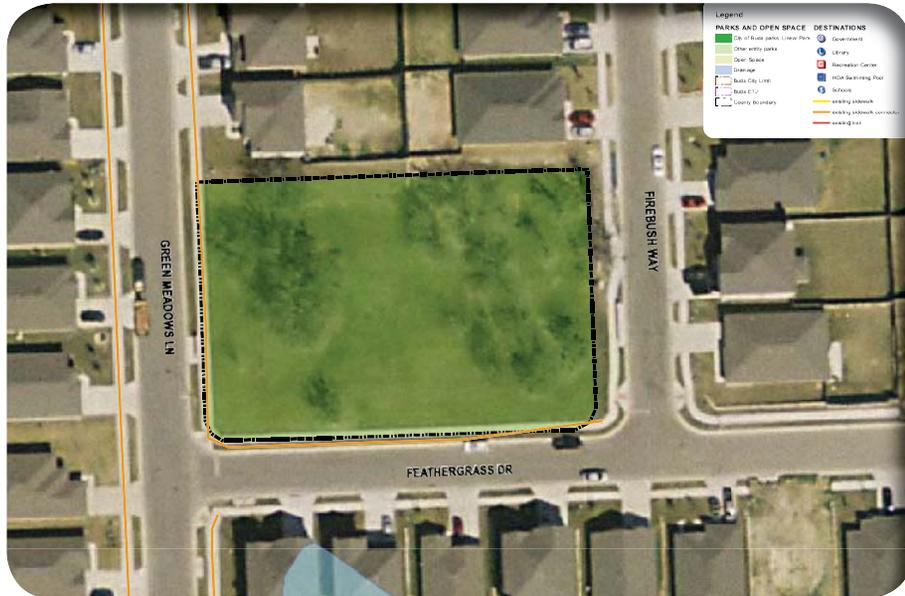
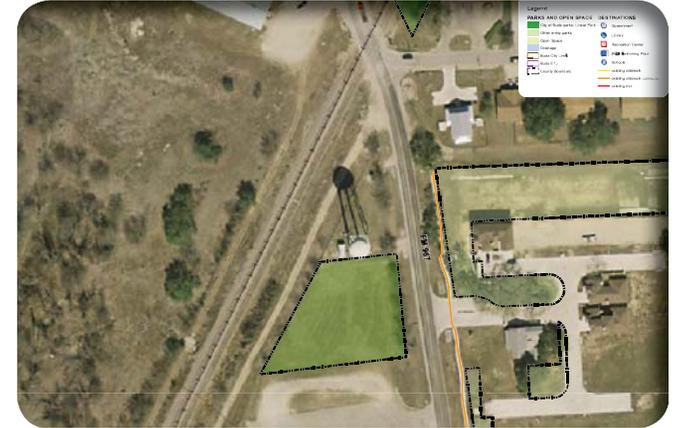
Condition: This small park has minimal improvements, but does have nice clusters of mature trees throughout the site. This park provides a pocket of open space in the middle of one of the newer neighborhoods on the east side of the City. Several hackberry trees are being attacked by aphids.



Jackson Tyler Norris Memorial Skate Park

Type: Special Use Park (development planned for 2013)
Acres: 1.0
Sector: Central
Amenities:
 ■ Undeveloped

Condition: Construction of Buda's first skate park is scheduled to begin the fall of 2012, and be completed by March 2013.



Skate Park Concept



Sportsplex

Type: Special Use Park (athletic complex)

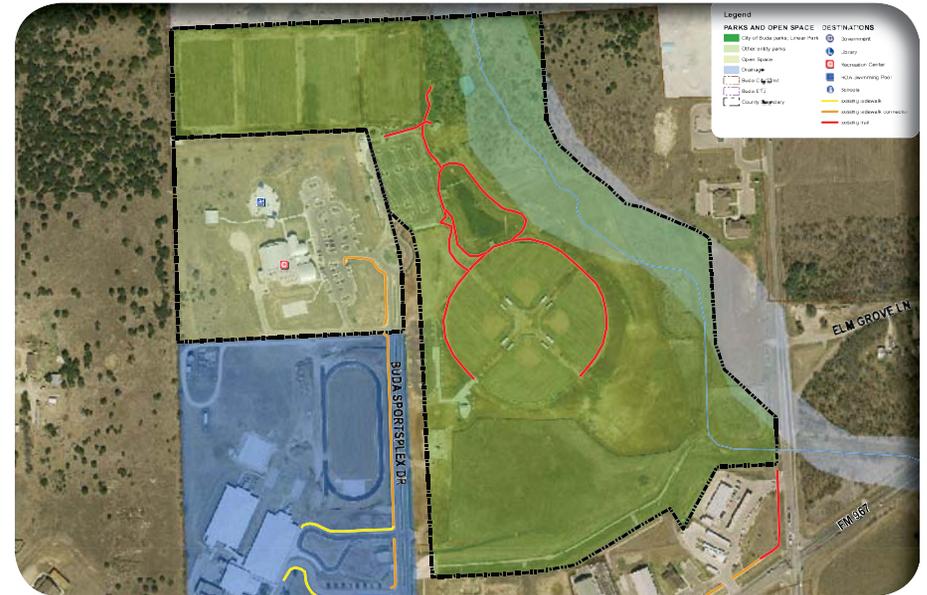
Acres: 62.3

Sector: West

Amenities:

- 4 baseball/softball fields
- 4 benches
- 2 bicycle racks
- Parking
- 1 pavilion
- 6 picnic tables
- 1 playground
- 1 pond
- 2 restrooms
- 4 soccer fields
- 10 trash bins
- 3 water fountains
- Xeriscape/butterfly garden
- Trails (3,510 lf)

Condition: The Sportsplex is the only location in Buda for residents to play organized athletic sports; therefore, it receives a high level of use compared to other parks. The park is relatively new (2009) and most of the facilities are in good condition. There is an additional phase planned for the park which includes two adult-size softball fields, a playground area, batting cages, and more trails. During the public input process, residents noted that the most needed amenity at the Sportsplex was field lighting. This will increase the number of hours that the fields can be used for athletic play. Other amenities that were noted during the public input process included: more concessions/restrooms, more parking, added trees and landscaping, improved maintenance of the soccer fields, and better seating areas.



Stagecoach Park

Type: Community Park

Acres: 52.3

Sector: Central

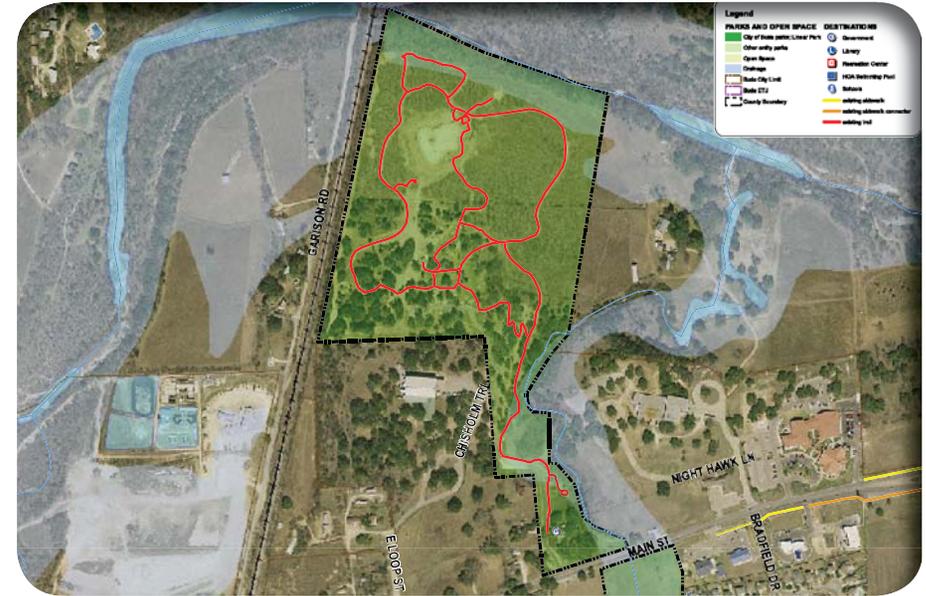
Amenities:

- 1 amphitheater
- 2 restrooms
- Parking
- 5 trash bins
- 1 pavilion
- 2 water fountains
- 9 picnic tables
- Trails (9,815 lf)
- 1 playground
- Stagecoach House & Visitors Center
- 1 pond
- Clint's Cabin

Condition: Stagecoach Park was ranked highest as the favorite park in Buda among residents. People enjoy the crushed granite trails that loop throughout the park, and the majority of the amenities are in good condition. The City's annual Trail of Lights event is held in this park.

Also located within this park is Clint's Cabin. It is a historical structure built in the 1880s, and was the living quarters of a servant to the Carrington family (one of Buda's founding families and original owners of the Carrington Hotel). Ideally, residents would like to see the cabin restored so that it can be used as an educational tool by allowing visitors to go inside and see how people lived more than a century ago when Buda was first founded.

Also located within Stagecoach Park is the Stagecoach House & Visitors Center which is the office location for the City's Parks and Recreation Department and Tourism Department. This is another historical building, dating back to 1875, which has been restored with funding from Hays County.



Stoneridge Park

Type: Neighborhood Park

Acres: 5.4

Sector: East

Amenities:

- 1 BBQ grill
- 1 playground
- 1 basketball court
- 1 soccer field
- 4 benches
- 2 trash bins
- 1 pavilion
- 1 water fountain
- 3 picnic tables
- Parking

Condition: This park located on the east side of Buda, in one of the newer developments. Similar to Green Meadows Park, Stoneridge has very limited shade because the trees have not matured (and will not for several more years, perhaps decades). The highest need for this park is adding a shade structure over the existing playgrounds and swings. The pavilion in this park is constructed with very nice limestone columns, and should be mimicked in other parks throughout the City. There is one soccer field in this park, which is the only athletic field/practice field on the east side of the City.



Whispering Hollow Park

Type: Neighborhood Park

Acres: 12.8

Sector: West

Amenities:

- 2 BBQ grills
- 7 benches
- Parking
- 1 pavilion
- 3 picnic tables
- 1 playground
- 1 restroom
- 2 trash bins
- 2 water fountains
- Trails (3,280 lf)

Condition: Whispering Hollow Park has large potential for growth. While the park is only 12 acres, most of it is still undeveloped. During the public input process, the amenities that residents indicated they wanted to see added at this park included: basketball courts, improved landscaping, off-leash park area, lighting, splash pad/water feature, and tennis courts.

There is a concept plan to install an off-leash park here, which will be the first one in the City and one of the top priorities of this master plan.

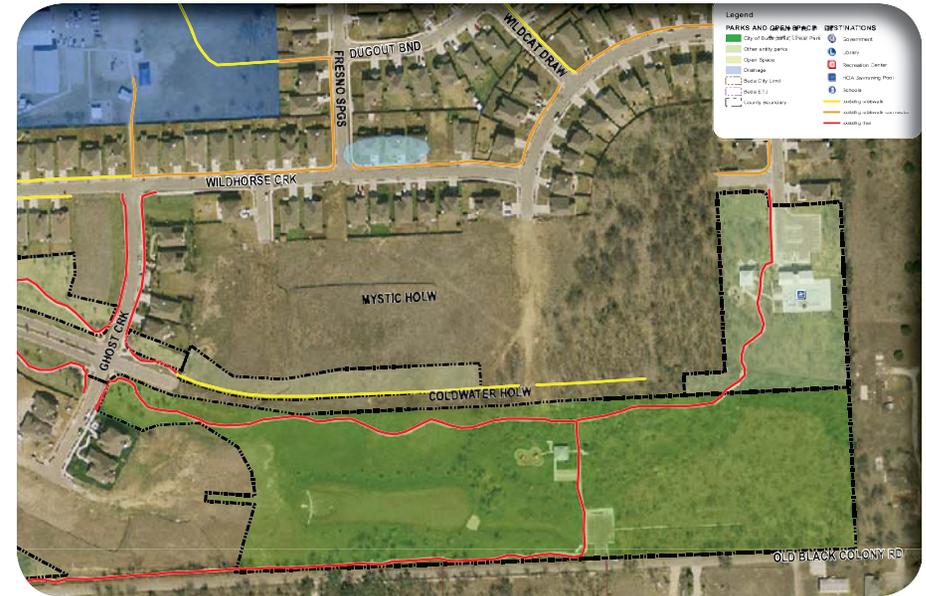


TABLE 11 - SUMMARY OF HOA AND PRIVATE PARKS

Park Name	Total Acres	Sector	BBQ Grills	Backstop	Bball Court	Benches	Bicycle Rack	Off-Leash Park	Parking	Pavilions	Picnic Tables	Playgrounds	Ponds	Rec/Amenity Center	Swimming Pool	Trails (linear ft)	Tennis Courts	Water Fountains	Trash Bins
Coves of Cimarron	7.7	W	3				1		X		3				1	545	2		
Creekside Park	6.1	W			0.5	2			X		1	1			1				1
Garlic Creek HOA	2.0	W							X					1	1				
Leisure Woods 1	1.5	W																	
Leisure Woods 2	1.2	W				2			X						1		2		
Meadow Park	0.2	E				1					1	1							
Meadows at Buda	2.3	C							X			1			1	825			
Stonefield Park	8.5	E				2		1		2	2	1	2			2,870		1	
Stoneridge HOA	0.5	E									1								1
Sunfield HOA 1	0.8	E				2						1							
Sunfield HOA 2	0.7	E				2						1							
Whispering Hollow HOA	3.1	W	2				1		X	1	2	1			1	890			
YMCA	16.9	W							X					1	1				
Total	51.5		5	0	0.5	11	2	1		3	10	7	2	2	7	5,130	4	1	2





CHAPTER 5

needs assessment



UNDERSTANDING BUDA'S PARK NEEDS

Residents of Buda have clearly established that parks and recreation is important to them, and that they appreciate the recreational opportunities that exist in the City today. They also recognize that the City is growing rapidly, and that new residents arriving in Buda will only increase the need for park and recreation facilities and programming. More importantly, the way we recreate is changing, as shown by the recreation trends discussed in Chapter 1. New technology, as well as an increasing amount of activities, are constantly competing for our time and are challenging the way we play and relax. This needs assessment will help recognize both basic and new needs, and will help Buda embrace those changes.

At a basic level, the needs assessment compares the state of Buda today with the parks and recreation facilities that will be needed in the future. An understanding of the deficiencies that exist in the parks and recreation system is vital so that actions can be developed to address these needs. This assessment also projects potential future needs relative to recreational trends and the changing needs of the City so that an action plan can be developed to address these needs effectively.

A needs assessment is an analytical way of assessing what facilities, actions, and programs are most needed and desired by the residents of Buda. From the results of the needs assessment, recommendations and actions to address these needs will be created and prioritized. The assessment of these needs is both quantitative and qualitative, as discussed in more detail below.

Assessment Methods

A variety of different inputs and techniques are used in evaluating Buda's current and future park needs. Generally, three methodologies were included in the needs assessment analysis. These techniques follow general methodologies accepted by the Texas Parks and Wildlife Department for local park master plans. These three techniques are:

- **Standard-based Assessment** - This technique uses locally developed level of service ratios of facilities to population so as to project where the City is today and where it might be in the future as the population grows;
- **Demand-based Assessment** - This technique uses actual and/or anticipated usage growth data, as well as citizen input on the types of activities they would like to engage in, to determine which facilities and programs are most in demand;
- **Resource-based Assessment** - This technique recognizes that Buda has many unique physical features, and explores how to convert these into recreation or open space assets that help to meet the demand for recreation in the City. Examples of potential physical resources in Buda might include Onion Creek and Garlic Creek.

All three methods are important in their own regard, but individually do not represent the entire picture. This assessment, and the recommendations resulting from it, uses findings from all three methods to determine what types of recreation facilities and park requirements are needed in Buda. Ultimately, these needs are vetted by the citizens of Buda, and are determined to best represent the key park and recreational needs of the City.



STANDARD-BASED ASSESSMENT (Level of Service)

The national guidelines and standards that were created decades ago were based on demographic trends rather than specific local desires, and are now intended to serve as a starting point for park planning. Each city has its own unique geographic, demographic, and socioeconomic composition, and as such, the arbitrary application of national standards would not necessarily meet the needs of a particular community. Therefore, national standards are no longer used to project facility needs since they are based on a “one size fits all” type of evaluation. Instead, the standards are fine-tuned to meet local conditions.

This master plan utilizes the existing level of service in the City as a starting point and determines whether that level of service is adequate, or whether it needs to be increased or decreased. Extensive public input is used to determine how to adjust the current level of service, as well as the anticipated growth of the City, and what parts of Buda are well served and what parts are not. Local needs and desires are used to mold these guidelines to meet the expectations of the citizens of Buda in a realistic manner.

Three types of level of service determinations are made as shown below.

- **Level of Service: Spatial** - Defines the quality context of parkland needs, and is expressed as a ratio of acreage to population. More importantly, it also defines the distribution of parks throughout Buda.
- **Level of Service: Access to Parkland** - Geographically determines how easy it is for Buda residents to access parkland, and determines where parkland is needed to meet the City's target level of service.
- **Level of Service: Facility** - Defines the number of facilities recommended serving each particular recreation need. Facility standards are usually expressed as a ratio of units of one

The Level of Service (LOS) based assessment uses target level of service established by the local jurisdiction, in this case the City of Buda, to determine the quantity of park facilities required to meet the City's needs. These target levels of service usually are expressed as the quantity of park facilities needed to adequately serve a given ratio of residents. These targets are established to provide the level of service that the particular jurisdiction believes is the most responsive to the amount of use and the interest of its citizens. This plan establishes individual city specific levels of service for Buda, and does not rely on national standards that may not be applicable to Buda.

particular facility per population size. For example, a facility standard for a recreation center might be one square foot for every resident of the city.

The Need for Park Acreage (Level of Service: Spatial)

The purpose of spatial levels of service for parks and recreational areas is to ensure that sufficient area is allocated for all the outdoor recreation needs of a community. They allow a city to plan ahead so that parkland can be targeted and acquired before it is developed and can no longer be used as parkland. To help determine an appropriate level of service, a “target” level is incorporated into this master plan. These spatial standards are expressed as a ratio of parkland to the number of residents in Buda.

Developing and applying a target level of service for park acreage results in acreage standards for different types of parks. Neighborhood parks and community parks are the primary park types to focus on as they provide close-to-home park space. Additional acreage is required both in order to serve the existing and future population, but also to allow for the development of additional neighborhood and community parks evenly spaced throughout the City. The goal is to provide close-to-home parks within a 5 to 10 minute walking distance of each resident in Buda.



Neighborhood Parks in Buda

Neighborhood parks are typically centrally located in a neighborhood or central to the several smaller neighborhoods that it serves. A neighborhood park in Buda is 1 to 15 acres in size, and ideally would serve no more than 1,000 to 4,000 residents. They should be integrated into the community in a prominent manner during the design phase, and not layered in as an afterthought during construction.

A pocket park is a type of neighborhood park that serves a smaller number of residents and is therefore smaller in size. They are typically less than one acre in size and provide public gathering places for residents. For the purpose of this analysis, the City's one pocket park (Green Meadows Pocket Park) is included with neighborhood parks.

The prominence of neighborhood parks reflects the importance of having them as centerpieces of a neighborhood. The recommended target level of service goal is 6 acres of neighborhood parks for every 1,000 residents. This target is much higher than most communities; however, it reflects the easily achievable goal of providing parks within walking distance of all residents in Buda.

Buda currently has 50.9 acres of city-owned neighborhood parks, yielding an existing level of service of 4.6 acres for every 1,000 residents of the City. Future needs of neighborhood parks to meet the target level of service are summarized below.

Existing Neighborhood Park Level of Service

Recommended LOS - 6 acres per every 1,000 residents.

Neighborhood Parks in Buda:

City-owned neighborhood parks only:

- Current acres = 50.9 acres
- Current LOS = 4.6 acres for every 1,000 residents.
- % of Recommended LOS = 76.6%

Distribution - Since neighborhood parks serve as a central gathering place for residents, accessibility is a critical component of these parks more so than any other park type. As discussed earlier, the preferred ideal service area for access to a park from any neighborhood in Buda is one-quarter (1/4) mile. The maximum service area for a neighborhood park is one-half (1/2) mile. In no case should access to close-in parks require that a child or young person cross a major collector or arterial road.

The benchmark that all residents of Buda be within 1/4 mile walking distance of a park within 20 years will result in parks that are designed to be more centralized in their neighborhoods so as to improve access. Note that for the purposes of access, every neighborhood park, school play area, and parts of community parks in Buda can be considered the "neighborhood park" for the areas close to it. The map on the previous page illustrates the distribution and service areas for neighborhood parks in Buda.

Future needs for neighborhood parks to meet the target level of service are summarized on the following page.

70%

of Buda residences are currently within 1/4 mile of a park;

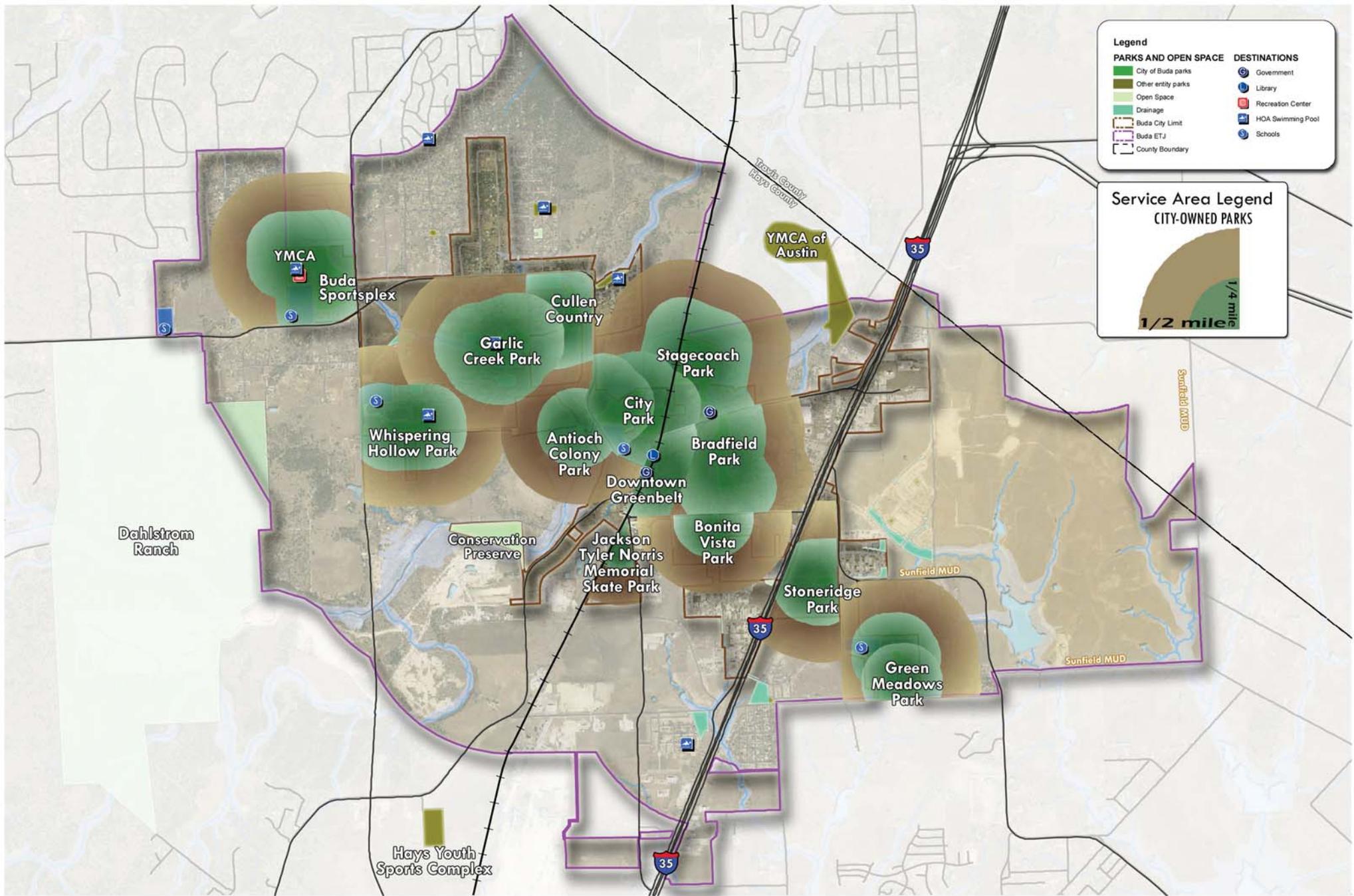
95%

of Buda residences are currently within 1/2 mile of a park.



Existing neighborhood parks in Buda: Green Meadows Park and Whispering Hollow Park





Legend

PARKS AND OPEN SPACE	DESTINATIONS
■ City of Buda parks	Government
■ Other entity parks	Library
■ Open Space	Recreation Center
■ Drainage	HDA Swimming Pool
Buda City Limit	Schools
Buda ETJ	
County Boundary	

Service Area Legend
CITY-OWNED PARKS

Access to Neighborhood Parks

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



Neighborhood Parks Summary:

- Recommended LOS = 6 acres for every 1,000 residents
- Recommended target level of access = 100% of residences in Buda will be within 1/4 mile of a park, trail or open space within 20 years.

Year 2012

- Current need with 11,024 population = target of 66 acres, deficit of 15 acres.
- Access in 2012 = 70% of residences within 1/4 mile of a park.

Year 2020

- Need with projected 19,912 population = target of 119 acres, deficit of 69 acres.

Year 2030

- Projected need with 31,690 population = target of 190 acres, deficit of 139 acres.

While the parkland dedication ordinance will assist in acquiring most of the need for new parks as residential areas are developed, a strong emphasis should be placed on the location of parks within neighborhoods to meet the target level of access. The map to the right illustrates all the areas in Buda that are not currently within walking distance of a park. The area to the far east is the Sunfield MUD development which has neighborhood and pocket parks planned into their master planned community. Therefore, as this MUD is built, the residents will be served by these parks.

The area to the southwest is a large quarry and it may be several decades before the property will be used for any other purpose. Parks will not be needed in this area until residential properties are planned there. The two major areas that are developed and lack access to parks are the residential properties along the IH-35 corridor towards the south, and the homes west of FM 1626 in the ETJ.



Community Parks

Community parks are large parks that serve several neighborhoods or a portion of a city. They serve as locations for larger community events, sports and activities. Therefore, they contain many popular recreation and support facilities. Because of the larger service area and additional programs, community parks are more heavily used, increasing the potential for facility deterioration.

The additional facilities associated with a community park increase the spatial requirements necessary for this type of park. Also, community parks often require parking for users who drive from surrounding areas, which increases the amount of space needed. The recommended standard for community parks is 10 acres for every 1,000 residents.

Buda currently has three community parks: Bradfield Park, Stagecoach Park, and Sportsplex. Additionally, the city's regional park, City Park, often serves the same function as a typical community park so it is included in this analysis. The four parks total 196.2 acres of community parkland, yielding an existing level of service of 17.8 acres for every 1,000 residents. Future needs for community parkland is listed in detail to the right.

Community Parks Summary:

- **Recommended LOS** = 10 acres for every 1,000 residents

Year 2012

- Current need with 11,024 population = target of 110 acres.
- Access in 2012 = all community parks are located in central or west Buda. There are no existing community parks east of IH-35 where significant residential development is occurring.

Year 2020

- Projected need with 19,912 population = target of 199.12 acres, deficit of 3 acres.
- Address lack of major community park east of IH-35.

Year 2030

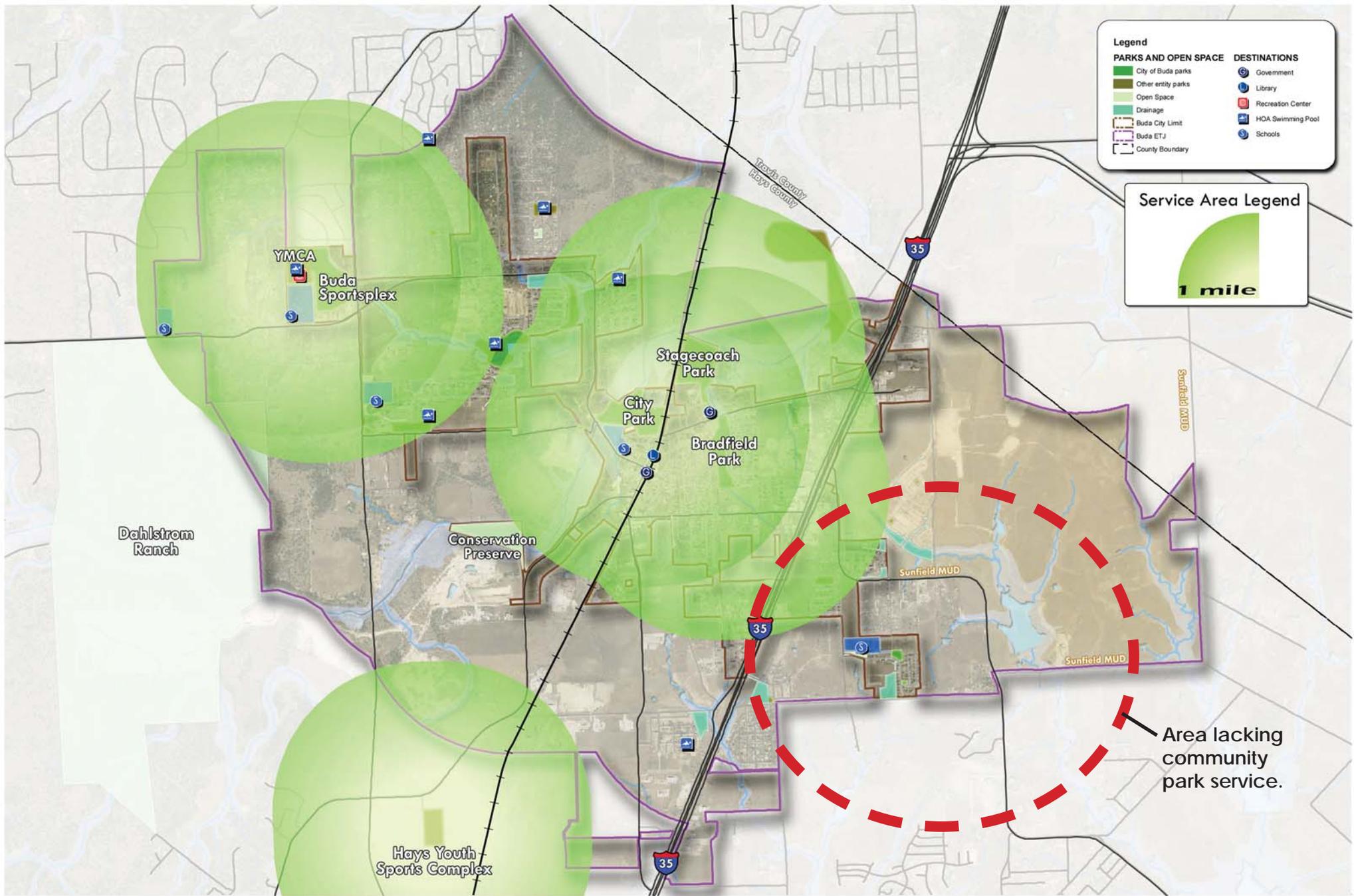
- Projected need with 31,690 population = target of 316.9 acres, deficit of 121 acres.

Distribution - Community parks serve a larger portion of a city. Since they are typically accessed by car, the preferred service area for a community park is approximately one mile. The east side of Buda currently has no community parkland, and this is the fastest growing part of Buda. The City should coordinate with the Sunfield Development to ensure that a community park is included in that development in the next five to ten years. Acquisition of land for a community park to address this need will be a critical action over the next decade.

Existing Community Parks in Buda:

- **Current acres** = 196.2 acres (includes Bradfield Park, Stagecoach Park, Sportsplex, and City Park).
- **Current LOS** = 17.8 acres for every 1,000 residents.
- **% of Recommended LOS** = 178%





Legend

PARKS AND OPEN SPACE	DESTINATIONS
■ City of Buda parks	Government
■ Other entity parks	Library
■ Open Space	Recreation Center
■ Drainage	HDA Swimming Pool
Buda City Limit	Buda ETJ
County Boundary	Schools

Service Area Legend

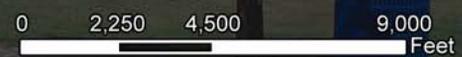
1 mile

Area lacking community park service.

Access to Community Parks

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



Special Purpose Parks

Special purpose parks are areas designated for a special purpose and can include park types such as golf courses, sports complexes, aquatic centers, plazas or downtown courtyards. Buda currently has three parks that can be considered special purpose. These are: Sportsplex, Skate Park, and Antioch Colony Park which all total 63.95 acres.

Because special purpose parks vary by size, type and from city to city, there are no specific recommended levels of service.

The largest special purpose park in Buda, the Sportsplex, can also serve day to day as a community park. Trails, pavilions, and play features, when added to parks such as this, increase the usefulness both to the leagues that use the park and the residents that live nearby.

Existing Special Purpose Parks in Buda:

- **Current acres** = 63.95 acres
- **Current LOS** = 5.8 acres for every 1,000 residents

Regional Parks

Regional parks are intended to serve the entire city and surrounding region. Like community parks, they act as locations for larger community events, tournaments, or activities. The only regional park in Buda is City Park, located near downtown, because it draws people from all parts of the City and even outside of Buda. Similar to special purpose parks, there is no specific spatial level of service for regional parks.

Existing Regional Parks in Buda:

- **Current acres** = 50.9 acres
- **Current LOS** = 4.62 acres for every 1,000 residents

Linear Parks

Buda has great potential for linear parks along the two major creek corridors that traverse the City: Onion Creek and Garlic Creek. Currently though, there are no designated linear parks along these corridors. The only linear parks within the City is the Downtown Greenbelt and Cullen Country, which provide 24.7 acres of linear parkland.

Existing Linear Parks in Buda:

- **Current acres** = 24.7 acres
- **Current LOS** = 2.24 acres for every 1,000 residents



Open Space

Open space comes in many forms. It can be the expanses of water and green along the creek corridors, the viewsheds and vistas of the Hill Country, or simply the designated parks within the City. Open spaces are the green ribbons that break up the developed areas of a city. Simply because they are different, these open spaces stand out and can make Buda a more memorable city.

4.5%

Percent of the total land area in Buda that is currently preserved as open space (both City limits and ETJ)

Existing open space in Buda includes all designated parks, portions of the Dahlstrom Ranch conservation easement property, portions of the City of Austin YMCA property, the Barton Springs/ Edwards Aquifer Conservation Preserve, several detention ponds and select drainage corridors. The current open

space in Buda totals approximately 587.5 acres, yielding an existing level of service of 53.29 acres for every 1,000 residents. It is important to note, however, that nearly half the acres of open space are not publicly accessible. Rather they are preserved areas intended to prohibit development or for flood control. Only 290.7 acres of open space are publicly or semi-publicly accessible, yielding an existing level of service of 26.37 acres for every 1,000 residents.

Future open space should be preserved if it has some unique value, and not simply to meet a specific acreage target. Therefore, the suggested target level of service for open space shown should be treated as a benchmark noting where the City is today, and to provide a target to strive to meet.

Open Space Summary:

- **Recommended LOS** = 15 to 20+/- acres for every 1,000 residents
- **Current acres** = 587.5 acres overall (290.7 publicly accessible only)
- **Current LOS** = 53.29 acres for every 1,000 residents overall (26.37 acres for every 1,000 residents of publicly accessible open space only); currently 4.5% of the total land area within Buda's city limits and ETJ is preserved open space.

Year 2012

- Current need with 11,024 population = target of 165 to 220 acres, current surplus.

Year 2020

- Projected need with 19,912 population = target of 298 to 398 acres, current surplus.

Year 2030

- Projected need with 31,690 population = target of 475 to 633 acres, up to a deficit of 45 acres of open space.
- At a minimum, preserve as open space 10% of the total land area in Buda upon build-out.

Distribution and Access - Preserved open space serves a significant function in terms of wildlife habitat, flood control, and improved air and water quality; however, without being publicly accessible it cannot provide any recreational benefits to the community. While not all open space preserves should be accessed, this master plan recommends that significant preservation efforts be sought along Onion Creek and Garlic Creek, with key public access points for the added benefit of recreation.



Summary of Park Acreage Needs

The acquisition of parkland is crucial to ensure that adequate green space is preserved in Buda. Acquisition should be accomplished in a consistent and goal oriented manner. Although large areas of Buda are still undeveloped, development is happening and a rigorous effort should be made to continue to acquire sufficient land for future park needs. The key acreage needs for the next ten years in Buda are summarized below. These key findings form part of the master plan recommendations.

Key Park Spatial and Access Needs:

Neighborhood Parks

- **Current LOS** = 4.6 acres for every 1,000 residents.
- **Recommended LOS** = 6 acres for every 1,000 residents
- **95%** of residences are within 1/2 mile of a park
- **2020 Deficit** = 69 acres
- The City's Parkland Dedication Ordinance will ensure future developments have neighborhood parks within them. The main issue for future neighborhood parks is a central location within the neighborhood to ensure access. To reach the goal of all residences in Buda being at least 1/2 mile from a park, the design of new neighborhoods should ensure that the park is placed in a central location so all homes can easily access it. The City's focus for acquiring neighborhood parkland should be in the two areas that are currently developed but do not have parks: west of FM 1626 and the subdivisions along IH-35 towards the south end of the City.

Community Parks

- **Current LOS** = 17.8 acres for every 1,000 residents.
- **Recommended LOS** = 10 acres for every 1,000 residents
- There are no community parks located on the east side of IH-35. One critical recommendation will be to acquire parkland for a future community park on the east side, even if construction of that park does not happen for some time.

Special Purpose Parks

- Athletic fields should be designed into any future community park on the east side of the City.

Regional Parks

- No specific level of service is established for regional parks.
- Improvements and enhancements should be made to City Park, as recommended in the City Park Master Plan. Expanding the park into the currently unused city property between City Park and the Wastewater Treatment Plant will allow the park to truly become a regional park destination.

Linear Parks

- The City should preserve/acquire and develop linear parks along the creek corridors, with publicly accessible recreational trails.

Open Space

- The key areas of open space preservation will be along the creek corridors, which correlates with the linear parks recommendation.
- Open space preserves can be privately owned, which is the case of Dahlstrom Ranch and the Barton Springs/Edwards Aquifer Conservation Preserve located north of the active quarry.



LEVEL OF SERVICE: FACILITY ASSESSMENT

Facility standards and target levels of service define the number of facilities recommended to serve each particular type of recreation. They are expressed as the usage capacity served by each recreational unit, as well as the level of access to each type of facility from all parts of the City. The target levels of service shown on the following pages are based on comparisons with recognized standards, comparisons to other similar cities in Texas, the actual number of facilities in Buda, and the amount of use each facility receives.

The following pages have a description of the 2012 target level of service for each recreational facility. A specific review of each major type of outdoor facility, key needs and key issues follows. Facility needs are based both on ratios related to existing population, as well as the amount of demand for each type which is based on public input and user information where available. As with the acreage standards discussed earlier, the facility target levels of service are adjusted based on Buda's unique recreational goals.

The target level of service for each type of facility is determined as a guide to provide the most basic recreation facilities to the community. The target time frame for each facility is five to ten years.

Developing Target Levels of Service

The National Recreation and Parks Association (NRPA), in their publication *Recreation, Park and Open Space Standards and Guidelines*, edited by R.A. Lancaster, defines recreation and park standards in this manner:

“Community recreation and park standards are the means by which an agency can express recreation and park goals and objectives in quantitative terms, which in turn, can be translated into spatial requirements for land and water resources. Through the budget, municipal ordinances, cooperative or joint public-

private efforts, these standards are translated into a system for acquisition, development and management of recreation and park resources.”

The publication further describes the role standards have in establishing a base for the amount of land required for various types of park and recreation facilities, in developing the community's acceptable minimum correlating needs to spatial requirements, and for providing justification for recreational expectations and needs.

The national and state standards are a useful guide in determining minimum requirements; however, the City of Buda must establish its own standards in consideration of expressed needs of the residents and the City's economic, operational, and maintenance capabilities.

“Life is best enjoyed when times periods are evenly divided between labor, sleep, and recreation...all people should spend one-third of their time in recreation which is rebuilding, voluntary activity, never idleness.”

Brigham Young, 1801-1877



Baseball/Softball Fields

Current number of fields: 4

Current level of service: 1 field for every 2,756 residents

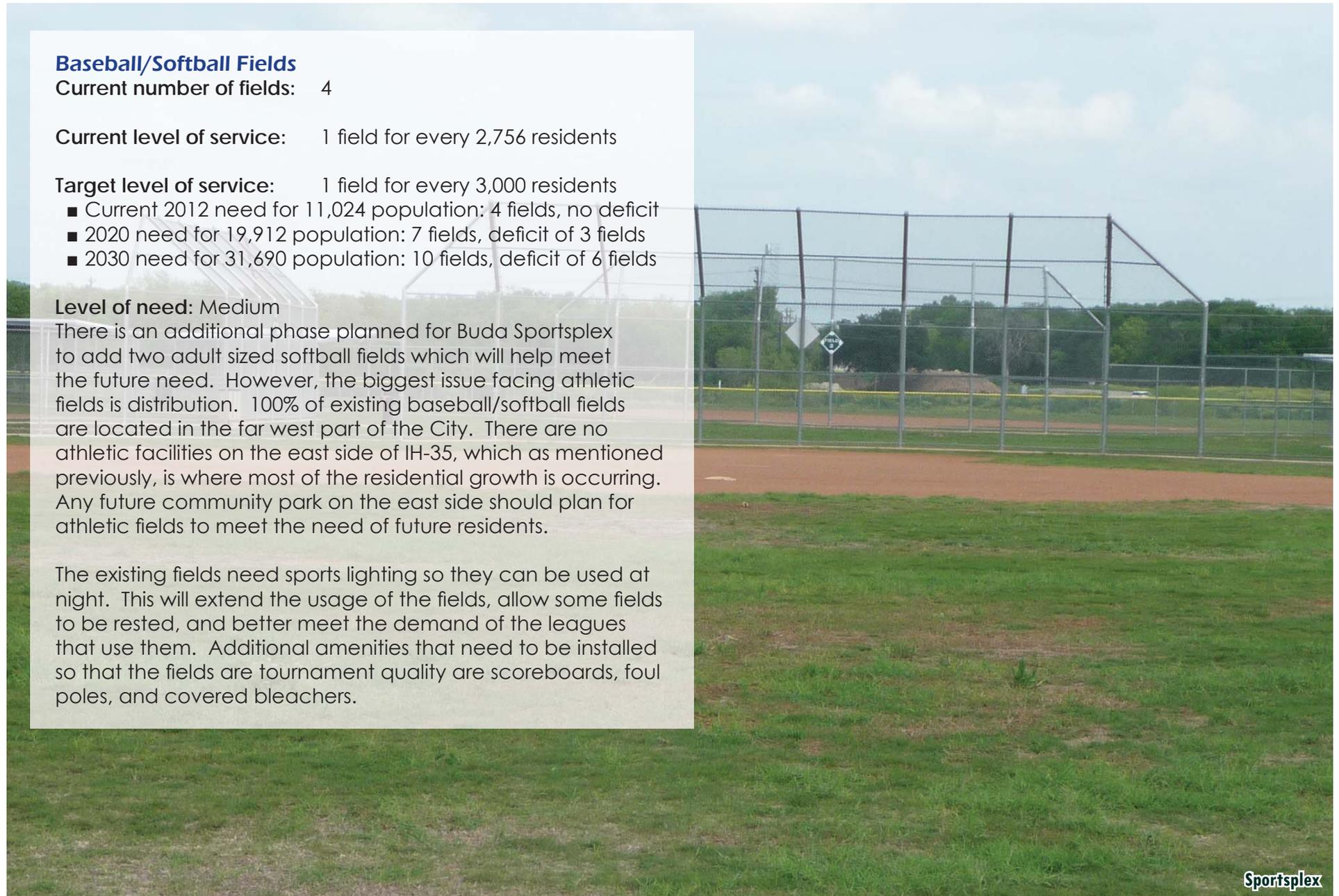
Target level of service: 1 field for every 3,000 residents

- Current 2012 need for 11,024 population: 4 fields, no deficit
- 2020 need for 19,912 population: 7 fields, deficit of 3 fields
- 2030 need for 31,690 population: 10 fields, deficit of 6 fields

Level of need: Medium

There is an additional phase planned for Buda Sportsplex to add two adult sized softball fields which will help meet the future need. However, the biggest issue facing athletic fields is distribution. 100% of existing baseball/softball fields are located in the far west part of the City. There are no athletic facilities on the east side of IH-35, which as mentioned previously, is where most of the residential growth is occurring. Any future community park on the east side should plan for athletic fields to meet the need of future residents.

The existing fields need sports lighting so they can be used at night. This will extend the usage of the fields, allow some fields to be rested, and better meet the demand of the leagues that use them. Additional amenities that need to be installed so that the fields are tournament quality are scoreboards, foul poles, and covered bleachers.



Sportsplex



Backstops/Practice Fields

Current number of fields: 3

Current level of service: 1 backstop for every 3,675 residents

Target level of service: 1 backstop for every 3,000 residents

- Current 2012 need for 11,024 population: 4 backstops, deficit of 1
- 2020 need for 19,912 population: 7 backstops, deficit of 4
- 2030 need for 31,690 population: 10 backstops, deficit of 7

Level of need: High

Currently, the only backstops in the City are located within City Park. Practice fields should be distributed in every part of the City, and added to all parks where feasible. Practice fields are essential to a community to ensure the quality of athletic game fields are maintained at a higher level. Teams should not have to practice on the same fields as they play games on, if at all possible.

City Park



Soccer Fields

Current number of fields: 5

Current level of service: 1 field for every 2,205 residents

Target level of service: 1 field for every 2,000 residents

- Current 2012 need for 11,024 population: 5 fields, no deficit
- 2020 need for 19,912 population: 10 fields, deficit of 5 fields
- 2030 need for 31,690 population: 16 fields, deficit of 11 fields

Level of need: Medium

There are four game-quality soccer fields located at the Sportsplex, in the far west side of the City. Additionally, there is one practice-quality field at Stoneridge Park, on the east side. Similar to baseball fields, there will be a long-term future need for game/tournament quality soccer fields on the east side of IH-35 where most of the residential development is occurring.

The existing fields at Sportsplex need sports lighting so they can be used at night, which will then extend the hours that the leagues can play.



Sportsplex



Basketball Courts

Current number of courts in city parks: 5.5

Current level of service: 1 court for every 2,005 residents

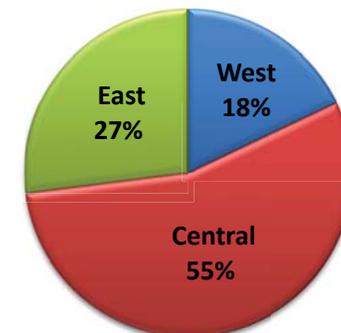
Target level of service: 1 court for every 1,500 residents

- Current 2012 need for 11,024 population: 7 courts, deficit of 1.5
- 2020 need for 19,912 population: 13 courts, deficit of 7.5
- 2030 need for 31,690 population: 21 courts, deficit of 15.5

Level of need: Medium

There is adequate distribution of basketball courts throughout all areas of the City. As development occurs, all new neighborhood parks should include a basketball court. Long-term, the large scale, covered pavilion basketball courts at City Park should be duplicated at a future community park on the east side of IH-35.

Distribution of Basketball Courts



Use of outdoor courts at elementary schools can help address future court needs. Provide a court at the Sportsplex to improve the distribution of courts.

Garlic Creek Park



Swimming Pools

Current number of pools: none publicly accessible (6 at HOA parks, 1 at YMCA)

Current level of service: none publicly accessible

Target level of service: 1 pool for every 20,000 residents

- Current 2012 need for 11,024 population: 0
- 2020 need for 19,912 population: 1
- 2030 need for 31,690 population: 1

Level of need: Medium

The only swimming facilities in Buda are private or semi-private, located at 6 HOA parks or the YMCA. The HOA pools can only be used by the residents who live in those neighborhoods, and the YMCA pool is available to anyone with a paid membership. Currently 52% of all residences in the City and ETJ have access to a swimming pool through their HOA. While there was interest in aquatic facilities during the public input process, the construction and operation of a public, city-owned pool is a huge undertaking for a smaller city such as Buda. Rather than investing in a large scale aquatic center at this time, the City should install free-standing spraygrounds in each of the three planning areas of the City. It is also recommended that the City pursue an aquatics feasibility study within the next 10 years to determine if there is sufficient interest and budget for the City to undertake this type of facility, as well as to determine the appropriate location for an aquatics center. The need for a swimming pool should then be re-evaluated when updating this master plan in the future.

Spraygrounds/Splash Pads

Current number of spraygrounds: 0

Current level of service: 0

Target level of service: 1 sprayground for every 6,000 residents

- Current 2012 need for 11,024 population: 2, deficit of 2
- 2020 need for 19,912 population: 3, deficit of 3
- 2030 need for 31,690 population: 5, deficit of 5

Level of need: Very High

Spraygrounds provide a lower cost aquatic facility for cities. One sprayground should be added to each of the three planning areas, at a minimum, to provide neighborhood level recreation. Spraygrounds are most popular in parks when located adjacent to family gathering areas. The City should target the first three spraygrounds being installed at Whispering Hollow Park in the west, City Park in the central part of the City, and Green Meadows Park or a future community park in the east.

example of a sprayground





Cullen Country Park

Trails

Current miles of trails: 14.7 miles total (5.0 miles within city-owned parks; 9.7 miles elsewhere in the City)

Current level of service: 1 mile for every 750 residents

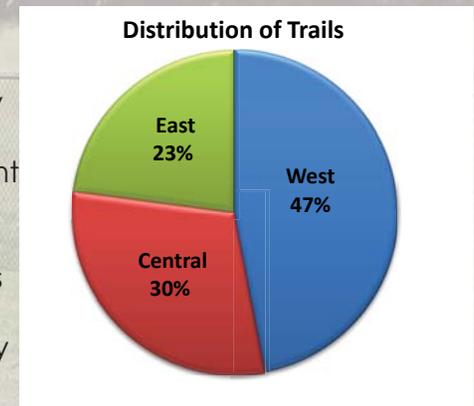
City-parks only LOS: 1 mile for every 2,205 residents

Target level of service: 1 mile for every 1,000 residents

- Current 2012 need for 11,024 population: 11.0 miles, no deficit.
- 2020 need for 19,912 population: 19.9 miles, deficit of 5.2 miles.
- 2030 need for 31,690 population: 31.7 miles, deficit of 17 miles.

Level of need: Very high

Trails were consistently ranked as the number one needed amenity in Buda during the public input process. While the current amount and distribution of trails is very good when compared to other Texas cities, all of the existing trails are contained within parks or at the entrance of subdivisions. They do not connect to each other or other destinations. Therefore, the target level of service is set high to reflect the public's desire and need for a connected trails system that links key destinations.



Further discussed in more detail in Chapter 7, the City of Buda should first focus on adding trails to the spine network which will connect the entire City. For developers, and long-term for the City, the focus should then be on adding secondary trails to connect to the spine network. Creating a trails ordinance that requires developers to build trails within their property that are shown in the Trails Master Plan will assist in the success of creating a connected network.



Tennis Courts

Current number of courts: 0 publicly accessible (4 within HOA parks and 2 at Dahlstrom Middle School)

Current level of service: no publicly accessible courts

Target level of service: 1 court for every 5,000 residents

- Current 2012 need for 11,024 population: 2 courts, deficit of 2
- 2020 need for 19,912 population: 4 courts, deficit of 4
- 2030 need for 31,690 population: 6 courts, deficit of 6

Level of need: Medium

Currently, there are no publicly accessible tennis courts within Buda. The only four courts are located at Leisure Woods HOA Park and Coves of Cimarron HOA Park. The courts are available only to the residents within those neighborhoods.

Although tennis courts was not ranked as a high need during the public input process, there was some interest from residents. If the opportunity arises, tennis courts should be added to Green Meadows Park, and future courts added to the west side of IH-35. Ideally, the City should try to partner with Hays CISD for a joint-use agreement so that the middle school tennis courts are available for public use after school hours and on the weekends.

example of a tennis court

Sand Volleyball Courts

Current number of courts: 0

Current level of service: no courts

Target level of service: 1 court for every 4,000 residents

- Current 2012 need for 11,024 population: 3 courts, deficit of 3
- 2020 need for 19,912 population: 5 courts, deficit of 5
- 2030 need for 31,690 population: 8 courts, deficit of 8

Level of need: High

Currently, there are no sand volleyball courts within Buda. There was some interest from residents in wanting sand volleyball courts added; and because this is a relatively easy addition to a park, this is ranked as a high need. Sand volleyball courts should be install at City Park, and future courts added to parks in the east and west planning areas.

example of a sand volleyball court



Off-Leash Park

Current number of off-leash parks: 0

Current level of service: no off-leash parks

Target level of service: 1 off-leash park in each planning area

- Current 2012 need for 11,024 population: 3
- 2020 need for 19,912 population: 3
- 2030 need for 31,690 population: 3

Level of need: High

There are no designated off-leash parks in Buda. The ultimate goal is to provide off-leash parks in each of the three planning areas in the City. The first off-leash park should be installed at Whispering Hollow Park in the west. A second off-leash park should be added to the east side of the City within five years.

Currently the HOA park Stonefield Park has dog park-like amenities added to it such as hoops and climbing boards for dogs to play on. However this is not a fenced area, is not fully designated as an off-leash park, and is only available to the residents of that neighborhood.

According to the Trust for Public Land, off-leash parks are the fastest growing segment among city parks, with a 34% increase from 2005 to 2010. Buda has none.

example of an off-leash park

Disc Golf Course (Frisbee Golf)

Current number of courses: 0

Current level of service: no courses

Target level of service: 1 course in each planning area

- Current 2012 need for 11,024 population: 3 courses
- 2020 need for 19,912 population: 3 courses
- 2030 need for 31,690 population: 3 courses

Level of need: Very High

Disc golf has become a very popular activity and is relatively inexpensive to install and play. During the public input process, there was interest shown for adding a disc golf course in Buda. The City's first disc golf course could be added to City Park, and others should be added to the east and west planning areas of the City.

example of a disc golf course



Skate Park

Current number of skate parks: 1

Current level of service: 1 per city

Target level of service: 1 per city

- Current 2012 need for 11,024 population: 1
- 2020 need for 19,912 population: 1
- 2030 need for 31,690 population: 1

Level of need: Undetermined

The City of Buda is currently designing its first skate park, with construction to begin early fall 2012. The Jackson Tyler Norris Memorial Skate Park is planned at an ideal location in the center of the City and is easily accessible to all residents. The design of the skate park will include one bowl and several street elements such as curbs and railing for skaters to use. This will serve as a regional attraction for the entire City. Expansion of the skate park should be evaluated within five years.



example of a skate park



Playgrounds/Playscapes

Current number of playgrounds: 10 at city-owned parks only (7 at HOA parks)

Current level of service:

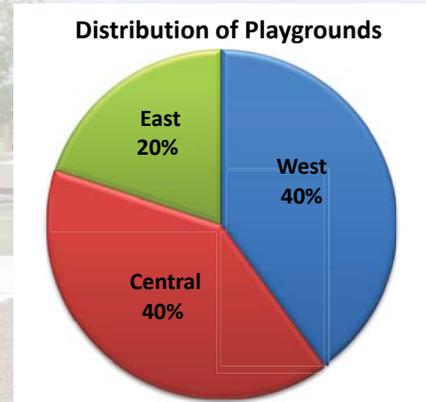
- 1 playground for every 1,102 residents (city-owned only)
- 1 playground for every 648 residents (all playgrounds in the City)

Target level of service: 1 playground for every 1,000 residents

- Current 2012 need for 11,024 population: 11 playgrounds
- 2020 need for 19,912 population: 20 playgrounds, deficit of 3
- 2030 need for 31,690 population: 32 playgrounds, deficit of 15

Level of need: Medium

There is a good distribution of playgrounds throughout the entire City. The playgrounds found in HOA parks serve the needs of those residents; therefore, there is no need for the City to duplicate those amenities. Playgrounds should be installed at all future parks to ensure the provision of playgrounds throughout the City.



The condition of the playgrounds in Buda is good. However, shade structures should be installed over all existing city-owned playgrounds. Shade was consistently ranked as the number two needed amenity, closely after trails, during the public input process. A high priority is to install these canopies in the parks that do not have them.

Green Meadows Park



Pavilions

Current number of pavilions: 8

Current level of service: 1 for every 1,378 residents

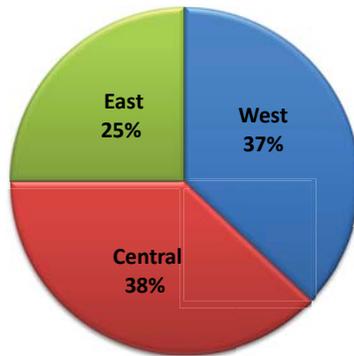
Target level of service: 1 for every 2,000 residents

- Current 2012 need for 11,024 population: 5 pavilions, no deficit
- 2020 need for 19,912 population: 10 pavilions, deficit of 2
- 2030 need for 31,690 population: 16 pavilions, deficit of 8

Level of need: Medium

Currently the number of pavilions are serving the needs of the community given the recommended level of service. However, by 2020 there will a deficit in pavilions, and the growing population will not be served. Pavilions provide shaded, central gathering areas for events such as birthday parties and reunions, or for daily picnicking. These facilities are among the most popular park facilities in the City. All larger parks in Buda should have a minimum of one to two event pavilions.

Distribution of Pavilions



Whispering Hollow Park



Picnicking Facilities

Current number of picnicking facilities:

Picnic Tables - 51 in city-owned parks; 10 in private/HOA parks. Total of 61 picnic tables.

BBQ Grills - 5 in city-owned parks; 5 in private/HOA parks. Total of 10 BBQ grills.

Benches - 58 in city-owned parks; 11 in private/HOA parks. Total of 69 benches.

Trash bins - 60 in city-owned parks; 2 in private/HOA parks. Total of 62 trash bins.

Water fountains - 15 in city-owned parks; 1 in private/HOA parks. Total of 16 water fountains.

Assumptions: Picnic facilities should be at all parks.

Target level of service: plan for picnic facilities including: tables, shade, outdoor grills, water fountains, benches, and trash bins at all parks.

Level of need: Medium

This is a key facility need in all parks. The City should replace dated and damaged picnic facilities on a regular basis.

The design of parks should include a cluster of tables, water fountains, and designated zones for picnicking activities.

Bradfield Park



Amphitheater/Gazebo/Outdoor Events Facility

Current number of facilities: 2 (small amphitheater at Stagecoach Park, gazebo within Downtown Greenbelt)

Target level of service: 1 large outdoor events facility

- Current 2012 need for 11,024 population: 1 facility
- 2020 need for 19,912 population: 1 facility
- 2030 need for 31,690 population: 1 facility

Level of need: High

Buda lacks a large amphitheater for staged performances that can accommodate up to 2,000 people. The ideal venue should accommodate a range of spectators and should be able to handle music, theatrical performances, movies in the park, and civic events.

The City also lacks a well designed festival area. This need is being addressed in the master plan and design of City Park, which will be a designated festival park in addition to a community park. It will include a performance amphitheater, but also accommodate markets, festivals and other special events.



existing gazebo within the Downtown Greenbelt



Support Facilities

Current number of support facilities:

Park support facilities include parking, restrooms, bicycle racks, and concrete sidewalks. These support facilities should be included in all community parks and larger neighborhood parks. Restroom facilities are generally not intended to be placed in small neighborhood parks.

Current level of service: no specific target level of service for support facilities.

Target level of service: varies per park; each park site should have adequate support infrastructure.

Level of need: Medium

All new parks constructed in Buda should have the appropriate support facilities. Parking lots are needed at Bradfield Park and City Park.

support facilities at Sportsplex



TABLE 12 - SUMMARY OF FACILITY NEEDS

Facility	Current Amount	Current LOS (per residents)	2020 Need Based on Population	Level of Need	Issues
Amphitheater/gazebo/outdoor events area	2	N/A	1 large, outdoor, event facility	High	Buda lacks a large amphitheater up to 2,000 spectators; this need is being addressed in City Park master plan and design.
Backstops/practice fields	3	1 per 3,675	7, deficit of 4	High	Essential to ensure the quality of game-fields remains high.
Baseball/softball fields	4	1 per 2,756	7, deficit of 3	Medium	No fields on the east side of IH-35. Upgrade existing fields to tournament quality and add lighting.
Basketball courts	5.5	1 per 2,005	13, deficit of 7.5	Medium	Include at least 1/2 court in all new neighborhood parks. Duplicate covered basketball court pavilion on the east side.
Disc golf course (Frisbee golf)	0	none	3, deficit of 3	Very High	There was interest in disc golf during the public input process. This is a popular activity and is inexpensive to install. Ultimate goal of one disc golf course per planning area.
Off-leash park (dog park)	0	none	3, deficit of 3	High	Currently there are none, but a high level of interest. Install one in each planning area. Install at Whispering Hollow Park immediately, and a second within 5 years.
Pavilions	8	1 per 1,378	10, deficit of 2	Medium	All parks should have a minimum of 1-2 event pavilions.
Picnicking facilities and water fountains	varies	varies	key facility in all parks	Medium	These are key facilities that should be in all parks.
Playgrounds/playscapes	10 city (7 HOA)	1 per 648	20, deficit of 3	Medium	Playgrounds should be installed in all future parks. Shade structures should be added to all existing playgrounds.
Sand volleyball courts	0	none	5, deficit of 5	High	There has been some interest in sand volleyball. Long-term, add 2 courts minimum to all planning areas.



TABLE 12 - SUMMARY OF FACILITY NEEDS (CONTINUED)

Facility	Current Amount	Current LOS (per residents)	2020 Need Based on Population	Level of Need	Issues
Skate park	1	1 per City	1 per City	Low (High for expansion of existing facility)	First skate park is currently in design phase. High priority for construction; low level of need for another skate park.
Soccer fields	5	1 per 2,205	10, deficit of 5	Medium	Distribution of game-quality fields needed on the east side of IH-35. Upgrade existing fields and add lighting.
Spraygrounds/splash pads	0	none	3, deficit of 3	Very High	These provide a lower cost aquatic facility for the City. Add one to each of the three planning areas.
Support facilities	varies	varies	varies	Medium	Each park site should have adequate support facilities.
Swimming pools	0 city (6 HOA, 1 YMCA)	0 publicly accessible	1, deficit of 1	Short term - Medium Long term - High	Short term focus on lower cost aquatic facilities (spraygrounds) for the next 5-10 years, and pursue an aquatics feasibility study. Long term construct a city-operated swimming pool.
Tennis courts	0 city (4 HOA, 2 Hays CISD)	0 publicly accessible	4, deficit of 4	Medium	Currently there are no publicly accessible tennis courts.
Trails (in miles)	14.7 total (5.0 in city-owned parks)	1 per 750	19.9, deficit of 5.2	Very High	Consistently ranked #1 during the public input process. Existing trails are not connected. Focus on spine network as a very high priority, and require developers to build trails shown in Trails Master Plan.



TABLE 13 – CITY-OWNED FACILITIES ONLY

Facility	Total	Ratio to Population	East Sector		Central Sector		West Sector	
			Number	% of total	Number	% of total	Number	% of total
Park acreage	273.45	24.8 acres per 1,000	9.3 acres	3.5%	140.6 acres	52.4%	118.55 acres	44.1%
Developed park acreage	148.25	13.4 acres per 1,000	9.3	5.8%	70.5	44.0%	80.65	50.3%
Undeveloped park acreage	125.2	11.36 acres per 1,000	0.0		70.4	65%	37.9	35%
Trails	14.7 miles	1 mile for every 750 residents	3.4 miles	23%	4.4 miles	30%	6.9 miles	47%
Playgrounds	10	1 per 730 residents	2	20%	4	40%	4	40%
Picnic tables	51	1 per 143 residents	7	13.7%	26	51.0%	18	35.3%
Pavilions	8	1 per 912 residents	2	25.0%	3	37.5%	3	37.5%
Soccer fields	5	1 per 1,459 residents	1	20%			4	80%
Softball/baseball fields	4	1 per 1,824 residents		0			4	100%
Backstops	3	1 per 2,432 residents			3	100%		
Basketball court	5.5	1 per 1,326 residents	1.5	27.3%	3	54.5%	1	18.2%
Tennis court	0	N/A						
Sand volleyball court	0	N/A						
Swimming Pool	0	N/A						
Splash pad	0	N/A						
Skate park	1	1 per city			1	100%		
Off-leash park	0	N/A						

 City is doing very well
 City may be deficient

Deficiency is based on distribution of facilities among the three planning areas; professional assessment compared to similar Texas cities; and the current level of service as a ratio to the existing population.



BENCHMARKING

Benchmarks are used as a further reference point for where one particular city ranks when compared to other cities with similar characteristics. A list of benchmark cities was compiled for Buda that are within the Central Texas/Hill Country region, and are a similar size in population to Buda. For the purpose of this planning process, the benchmark cities are identified as:

- Bastrop
- Dripping Springs
- Fredericksburg
- Hutto
- Kyle
- Lakeway
- Lockhart
- Marble Falls
- San Marcos
- Wimberley

Once the benchmark cities were chosen, they were then compared to Buda in terms of city-owned park acreage, miles of trails, number of city-owned swimming pools, budget dollars per capita, the number of FTE employees in the Parks and Recreation Department, and the Parkland Dedication Ordinance fee in-lieu structure. A total summary of the benchmark cities and how Buda compares is shown in the table below. Significant findings from the benchmark study include:

- Buda is ranked third in overall total acreage of city-owned parkland with San Marcos being first and Fredericksburg being second. Buda is ranked fourth when comparing acres of city-owned parkland per capita, at 24.8 acres for every 1,000 residents.
- Buda is ranked first in the total miles of trails, and Buda's miles of trails per capita ratio is much higher than any other benchmark city. The level of service for trails in Buda is good; but as mentioned previously, most trails are contained within parks and do not connect.
- 4 out of the 11 benchmark cities do not have a city-owned swimming pool, including Buda. San Marcos is the only benchmark city with two swimming pools.
- The adopted budget for the parks and recreation department in Buda is the fourth lowest out of the benchmark cities; and is the third lowest when comparing the budget dollars per capita. Only \$63.27 per capita was allocated to parks and recreation in Buda during fiscal year 2011-2012. Three of the benchmark cities allocated over \$100 per capita to parks and recreation.
- Buda is ranked 5 out of 11 when comparing the percent of the overall general fund that goes to the parks and recreation department at 11.1%.

Table 14 - 2012 Benchmarking for Buda's Parks and Recreation System

City	2010 Census Population	Total Number of City-Owned Parks	Total City-Owned Park Acreage	Acres per 1,000 Residents	Total Miles of Trails	1 Mile of Trails per Capita	# of City-owned Swimming Pools	FY 2011/2012 Adopted PARD Budget	PARD Budget Dollars per Capita	PARD % of General Fund Budget	PARD Staff FTE
Buda	7,295	14 (2nd tie)	273.45 (3rd)	24.8 (4th)	14.7	750 (1st)	0 (last)	\$461,564	\$63.27 (9th)	11.1% (5th)	7.75
Bastrop	7,218	9	120.00	16.6	3.00	2,406	0	\$648,938	\$89.91	8.1%	11
Dripping Springs	1,788	3	215.00	120.2	unknown		1	\$167,342	\$93.59	11.3%	unknown
Fredericksburg	10,530	6	286.00	27.2	0.25	42,120	1	\$1,160,700	\$110.23	11.2%	unknown
Hutto	14,698	6	128.12	8.7	3.81	3,858	0	\$933,543	\$63.51	10.6%	9.75
Kyle	28,016	14	90.80	3.2	9.33	3,003	1	\$1,837,155	\$65.58	14.9%	20.5
Lakeway	11,391	8	224.00	19.7	4.00	2,848	1	\$1,845,685	\$162.03	20.4%	unknown
Lockhart	12,698	7	94.90	7.5	unknown		1	\$405,732	\$31.95	4.6%	unknown
Marble Falls	6,077	12	113.00	18.6	unknown		1	\$725,790	\$119.43	8.7%	11
San Marcos	44,894	48	929.60	20.7	5.00	8,979	2	\$3,158,357	\$70.35	7.7%	45.64
Wimberley	2,626	3	134.90	51.4	unknown		0	\$22,500	\$8.57	2.3%	0



DEMAND-BASED ASSESSMENT

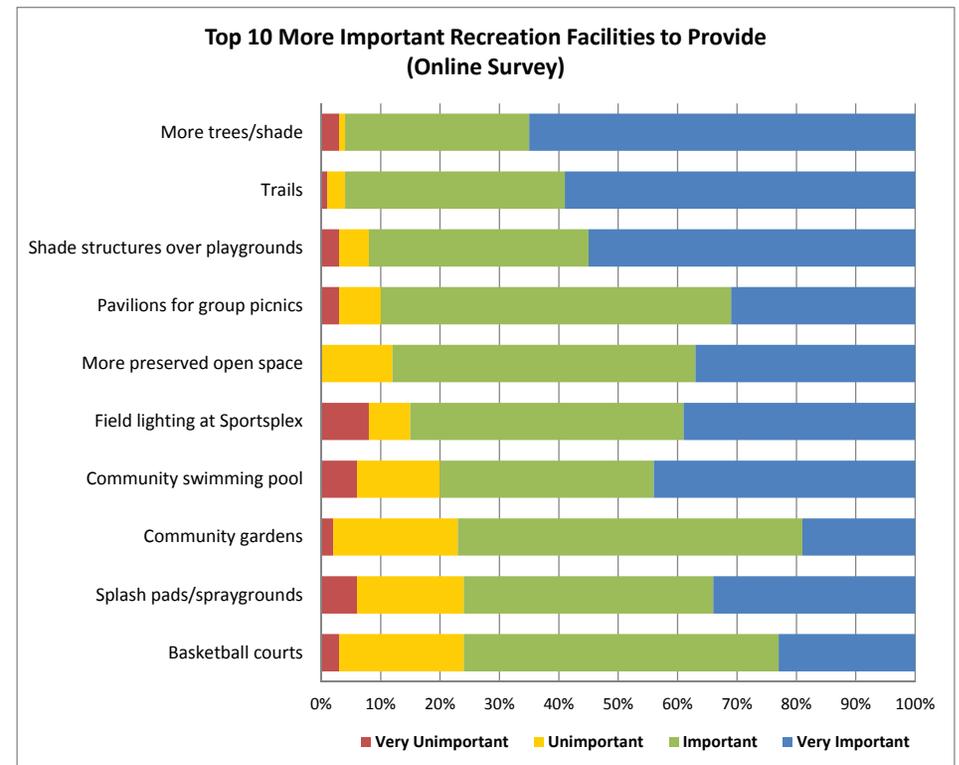
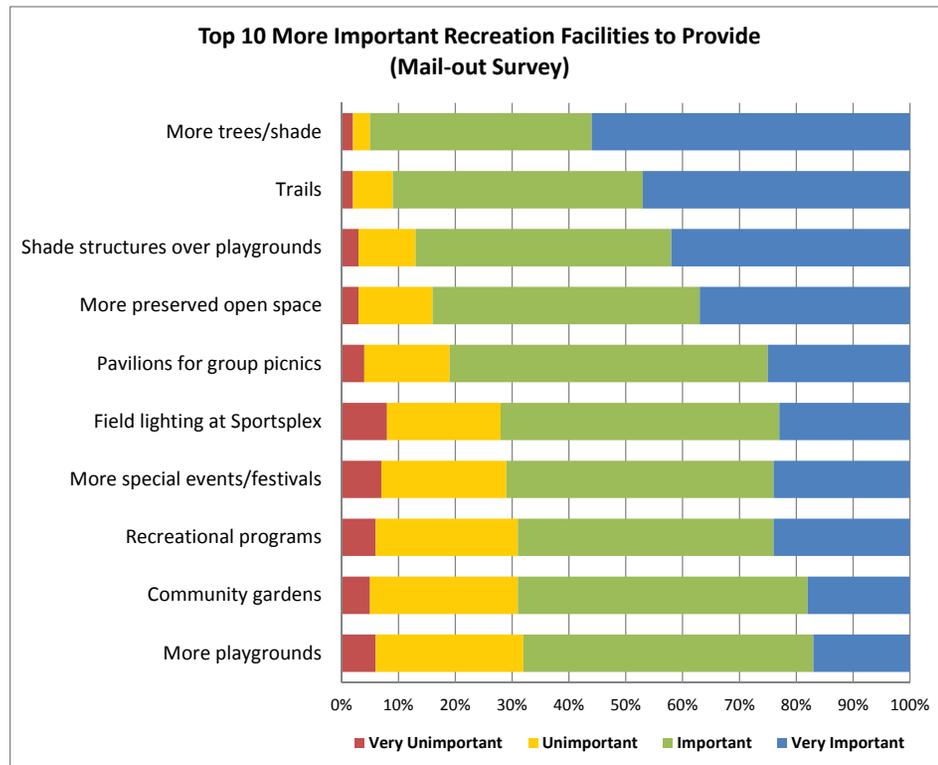
Demand was also used to determine what additional facilities are needed in Buda. Demand is based on actual level of use of the parks and the preferences expressed by citizens through stakeholder interviews, the citywide mail-out survey, the online survey and public input meetings.

Public input is a critical part of any planning process. Public entities work for their citizens by providing and managing the type of facilities the residents and taxpayers want to have. In essence, our citizens are our “customers” and it is the City’s responsibility to provide what our customers seek with approved funding. In the parks planning process, public input helps identify what types

of existing facilities are being used, where key deficiencies may occur, and where the citizens of Buda would like to see their funding targeted.

How important is it for Buda to provide or add the following recreation needs?

Residents who participated in the mail-out and online survey were given a list of recreation facilities that could be added to parks in Buda. They were then asked to mark how important or unimportant each facility was to them. The top three facilities for both surveys were (1) more trees and shade, (2) trails, and (3) shade structures over playgrounds. The top ten results are shown below.



What are the most important facilities to provide?

Survey respondents were then asked to write which of the three facilities provided in the list were the most important to them. The results are listed below.

Mail-out Survey

1. Trails	42%
2. Swimming pool	32%
2. More trees/shade	32%
4. Splash pads	18%
5. Preserved open space	16%
5. Parks	16%
5. Shade structures	16%
8. Indoor rec center	12%

Online Survey

1. Trails	49%
2. Swimming pool	36%
3. Shade structures	26%
4. Preserved open space	20%
4. Indoor rec center	20%
4. More trees/shade	20%
7. Splash pads	14%
8. Parks	13%

Summary of Demand Based Needs

Through the public input process, data collection, and input from City Council and the Parks and Recreation Commission, the planning team has determined the most needed and desired recreational opportunities for the future of Buda.

Shade was consistently ranked as a needed amenity in parks, both in terms of more trees and adding shade structures over existing playgrounds or picnic areas. The most popular recreation activity was walking, jogging or hiking - indicating a need and desire for a connected, citywide trails network. There is interest among residents in a city-operated swimming pool. Preserving more open space and natural areas was viewed as very important and necessary among residents. Also, residents would like to see the drainage corridors and detention basins in Buda beautified with park-like features. Buda currently has an adequate amount of parkland acreage, and residents emphasized the desire to enhance or improve what is existing before adding more parks. Adding new facilities to the undeveloped portions of existing parks is recommended.



RESOURCE-BASED ASSESSMENT

The resource-based assessment addresses key physical features of the City that may be incorporated as potential recreational opportunities. Both man-made and natural features can be considered. The City of Buda has numerous landscape features that should be preserved and/or adapted for recreation use and open space preservation where feasible. These include Onion Creek, Garlic Creek, hill country/rural landscapes in the west, cultural landscapes, drainage corridors, utility right of ways, and the railroad right of way. The use or development of each resource should be determined on a case-by-case basis depending on the unique characteristics of each location and the opportunities that can be afforded without damaging environmentally sensitive features. It is important to approach the use and development of these various resources in a unified, coordinated manner in order to realize the best results from each.



Existing Onion Creek

Creek System

Buda has a very extensive creek system flowing through the City. This master plan strongly recommends the preservation of greenbelts throughout Buda by making serious efforts to secure functional corridors along Onion Creek and Garlic Creek. The key criteria should be:

- Preserve the larger of the 100 year floodplain or a 300 foot wide corridor along undeveloped or underdeveloped creek areas. Ensure flood control and recreation opportunities by preventing

unrestricted encroachment and destruction of the vegetative areas along the creeks and their tributaries.

- Acquire and preserve, where feasible, drainage streams that can create linkage to adjacent neighborhoods. Preserve more than just the bare minimum for drainage purposes.
- Work with landowners and homeowners to create linear vehicular and pedestrian parkways along the edges of the floodplain, rather than backing lots up to it. Such design will open the creek areas up to the benefit of enjoyment for all residents. Where feasible, this concept should be retrofitted to existing conditions.
- Create linear trail segments in phases. Identify key trail linkages to develop first. With proper City support, funding and marketing, these trails will become the momentum for the development of similar trail connections such as the Downtown Greenbelt and Cullen Country.
- Acquire land that is regularly subjected to flooding, remove all improvements, and restore the flood area to a healthy and functional ecosystem. This means returning the floodplain to the creeks with the benefit of flood control and recreation access.

Preserving creeks and drainage corridors will assist in addressing the need for linear parks and open space in the City. This will also provide the opportunity for the development of hike and bike trails which ranks consistently as the most important recreation facility to provide.

Two major corridors that are recommended for preservation include the Onion Creek and Garlic Creek corridors. Onion Creek flows through the center of the City from the southwest to the north. Garlic Creek is in the northwest portion of the City, and flows east to west. Both have the potential to become linear parks with trails. Large portions of Garlic Creek already are preserved and has trails along it such as at Cullen Country Park and Garlic Creek Park.





Existing railroad corridor through downtown.

Right of Ways

Utility right of ways are linear in nature which makes them ideal for hike and bike trails. Developing trails along utility right of ways and other easements should be a priority over the next ten years.

Railroad right of ways have two characteristics that also make them ideal for trails: its linear nature and its gentle topography change. An added aesthetic value of railroad right of way is that trees along its length often provide special character and natural interest. Where there is adequate right of way, such as south of downtown, the City should actively pursue developing trails along this corridor.

Sustainable Features

All parks in Buda have the potential to incorporate sustainable features into them such as:

- Wind power stations
- Rain gardens and rainwater harvesting
- Solar panels to generate electricity
- The use of native plants and grasses
- The use of permeable pavement



Utility easement in Creekside Park neighborhood, ideal location for trail development.





CHAPTER 6

prioritization of needs and recommendations



RECOMMENDATIONS - INTRODUCTION

With the multitude of choices available today, people's priorities when relocating to a new city are often determined by the type of lifestyle they desire rather than a specific job. The question then becomes: How do we capture and attract this demographic to Buda? Quality lifestyles are not only about functional infrastructure, safety and education, but are often defined by the intangibles of mental well-being including: happiness, beauty, and a sense of belonging.

The vision for the 2012 Parks Master Plan is to support and help maintain the City of Buda's small-town feel while still providing state-of-the-art recreation facilities that new residents are seeking. The City of Buda is challenged to make a commitment to sustainability, quality and beauty.

Sustainability - Due to a better understanding today of the effects of pollution and over-development in a finite environment, the awareness of the importance of environmental stewardship is not a fad anymore; but rather regarded as a basic standard by most people today. Therefore, the City of Buda should commit to developing and operating in a sustainable manner.

Quality - Today's young families are drawn to cities with state-of-the-art parks and facilities. These people expect to find amenities and facilities in cities similar to what they experienced in their prior communities. Attracting and retaining residents, as well as businesses to employ and serve such residents, will depend on providing high-quality parks and recreation facilities in Buda.

Beauty - However it is defined,

all people seek to have access to beautiful surroundings and environments. Therefore, commit to providing attractive places for people to linger, to play, or to pass by.

Buda's parks, recreation and open space system is a vital part of what has and will continue to help Buda gain recognition as a great and sustainable place to live, work and play. In fact, it may be the most visible and tangible element of that elusive quality of life that all cities seek. This master plan seeks to build upon what is already in place, and to build a framework that can unify all parts of the City.

PHILOSOPHICAL BACKGROUND OF RECOMMENDATIONS

All of the recommendations in this master plan follow certain key points that should guide park related choices in Buda. These key philosophical points reinforce and expand upon the goals established in Chapter 1.

- **Every park should be considered as a "signature" element in that part of the City.** No park is less important than any other. Parks should always be carefully chosen sites so that they are prominent features in their respective neighborhoods. Where possible, they should include extensive mature trees and landscaping.
- **Parks should follow a consistent citywide design theme.** Fundamental items such as park signs, high quality pavilions with a similar color and design, and an emphasis on preserving existing vegetation and trees should be used in every new and exiting park to create a consistent and recognizable park look for Buda.
- **Every park should in some way, truly celebrate the history and culture of Buda.** Parks can incorporate historical plaques and features that allude to the area or neighborhood around the park, the circumstances that caused the park to be created, or some other unique event that happened in Buda.

"One measure of a development project's success should be the increase in the number of songbird species inhabiting a site after it has been developed."

*William McDonough, Dean
School of Architecture,
University of Virginia*





- Consider beginning to implement public art in some parks and along trails (photo 1). Public art, often created by local artists that can be supported by the City, is an easy way to make many parks in Buda much more memorable.

- Parks that include bodies of water should be highly valued (photo 2). These should become one of the signature elements of Buda parks. Existing areas of water, whether in the form of ponds or along creeks, should be included in parks where feasible.

- Shade should be a standard component of every park. In all parks, playgrounds and picnic areas should be covered, either by trees, shade structures or pavilions.

- Create a defined and easily recognizable "entrance" for every park in Buda (photo 3). Every park should have a front door. Even parks such as Bonita Vista that have street frontage on three sides can still include features that announce this is a valuable space in Buda.

- Parks should be designed so as to reduce maintenance. Automatic, purple-pipe irrigation should be a key component of every park, as well as native grasses and landscaping that make every park easier to maintain.



RECOMMENDATIONS BY CATEGORY

The following items comprise the majority of priority recommendations in Buda. Illustrations included with each of these items are intended to convey the essence of each recommendation, but unless noted otherwise are not actual plans. Detailed concepts and fully developed cost projections should be developed as each recommendation begins to be implemented. Recommendations and associated actions are divided into the following categories:

- A. Current and future parkland acquisition
- B. Existing and future park renovations
- C. Outdoor recreation facilities
- D. Preservation of open space
- E. Indoor recreation facilities
- F. Trails - discussed in Chapter 7
- G. Action plan of high priority needs - discussed in Chapter 9

The following pages illustrate a summary of the major recommendation categories.



A. CURRENT & FUTURE PARKLAND ACQUISITION

Without land to preserve or on which to build recreation facilities, Buda cannot have any future parks. This master plan recommends that the City try to maintain a ratio similar to what it has today, but improve the access to parks that current residents have as growth occurs within the City. This will require proactive land acquisition on the part of staff and the City Council. Acquiring land for future parks should be a priority, even if those parks will not be built for years to come, while at the same time it is a priority to maintain what we already have.

Keeping in mind that parks are a critical component of how the City is perceived, land acquisition should not always target the least expensive piece of land. Rather, the specific needs of the area, the citizens that it will serve, and the natural characteristics of the site should all be considered when land is acquired for park use.

Land is also a finite resource, and efforts to acquire that land today at a lower cost will pay off in the future. If the location of the park site is known, then the entire neighborhood can be planned around it.

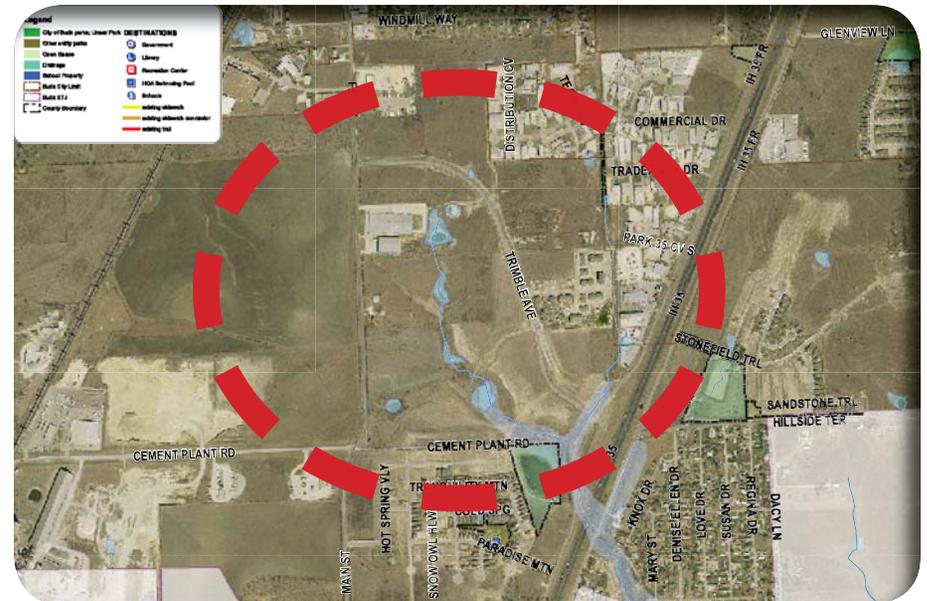
Land for Neighborhood Parks

Smaller parks should be planned for every new neighborhood or grouping of neighborhoods in Buda. Sites should be selected that allow easy walking access within a few blocks and without crossing any major streets. While Buda has very good acreage in terms of smaller neighborhood parks, there are a handful of developed areas where current access to neighborhood parks is not available.

As shown in the needs assessment chapter, the majority of deficiencies for neighborhood parks are within the ETJ.

These are possible future residents of Buda, and if and when they are annexed they will be underserved. While the future needs for neighborhood parkland are in the ETJ, they only become a priority if and when these areas are annexed into the City.

1. The area west of IH-35 along Trimble Ave. is starting to develop, mostly with multi-family apartments. This area is likely to develop because of the recently built highway overpass which now provides easy access into Buda. As more residential units are built, the residents moving into those apartments or homes will need sufficient parks and recreational amenities. This is one of the underserved areas and it will become more vital to provide neighborhood park service in this area as more residential units are built.



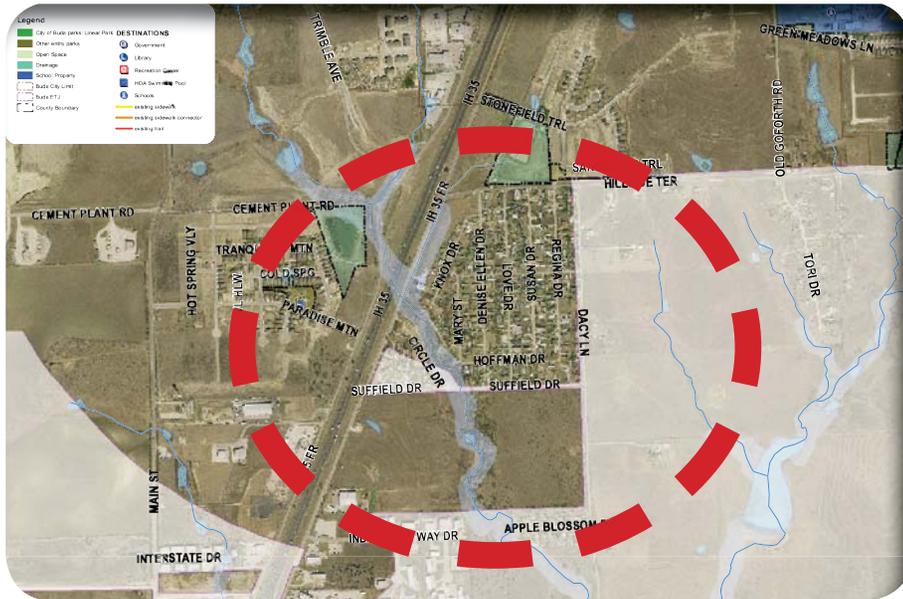
Needed area:
Priority:

1 to 2 acres
High (if and when it is annexed or developed)

Potential junior high or elementary schools can serve as school parks to address recreational facility deficiencies in some neighborhoods, such as Carpenter Hill Elementary.

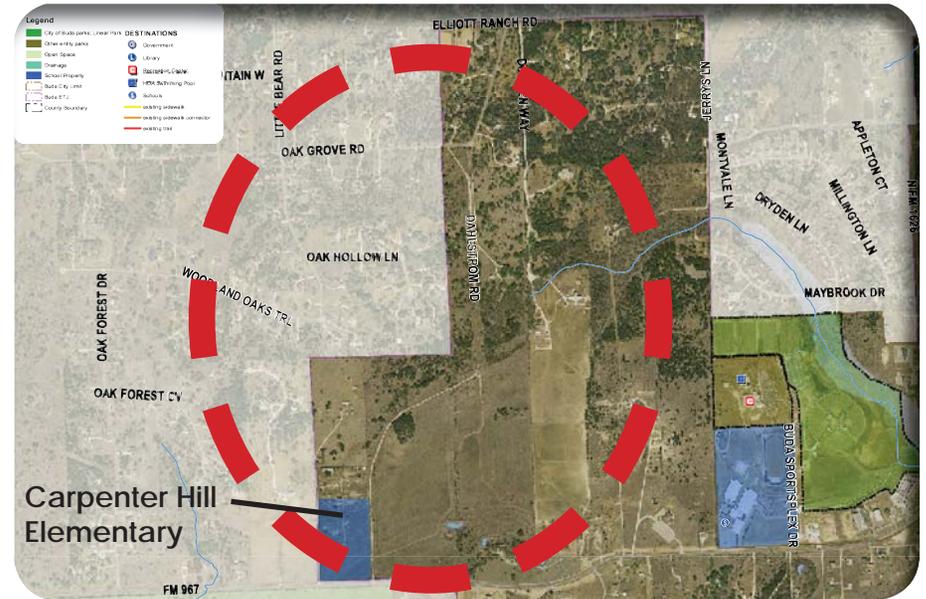


2. The area east of IH-35 and south of Hillside Terrace is developed with older homes and mobile homes. This area currently has no parks to serve the residents who live in this area of the City. There are limited opportunities to acquire parcels to for parkland. The best alternative in this area may be to develop the land along the creek behind the neighborhood as a linear park with trails, and possibly a playground and picnic areas.



Needed area: 1 to 2 acres
Priority: High (if and when it is annexed or developed)

3. The most western portion of Buda, north of FM 967, is a largely rural area. Even though these are mostly large lot, ranch style homes there are no close neighborhood parks serving this population. One opportunity in this area is partnering with Hays CISD to enhance the play area of Carpenter Hill Elementary into a public neighborhood park after school hours.

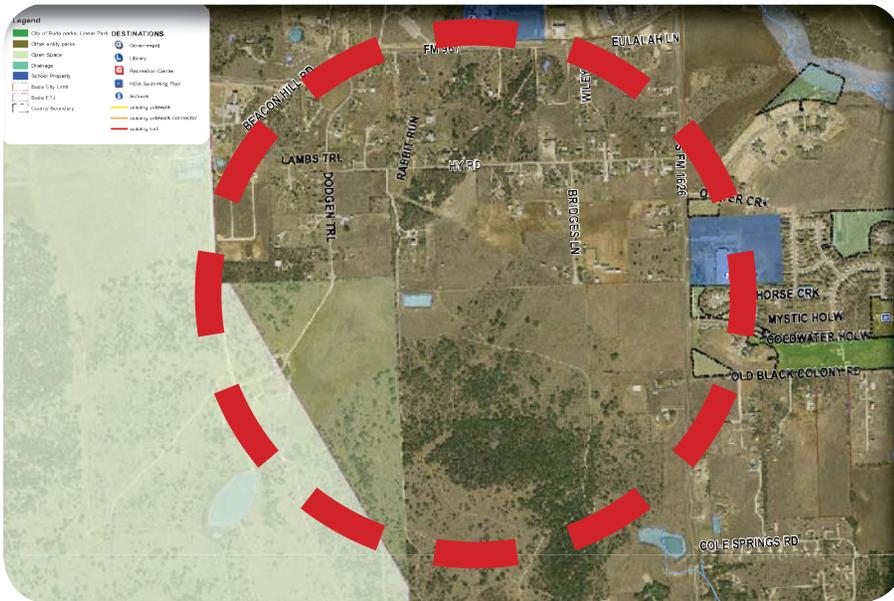


Needed area: 1 to 3 acres
Priority: Low (because of proximity to Sportsplex)



4. Similar to the previous area, the area south of FM 967 in the western portion of the City is also mostly rural developments, but still has little access to close neighborhood parks. If this area were to redevelop into a more suburban style neighborhood, the City's parkland dedication ordinance would ensure adequate development of parks. However, if this area stays a rural area with ranch style homes, the greatest potential for parks is the close proximity to Dahlstrom Ranch. While Dahlstrom Ranch will not supplement neighborhood park amenities, it will provide open space and nature trails to the public. Long-term, Buda should plan to connect to Dahlstrom Ranch with a network of off-street trails.

5. The eastern portion of Buda, along FM 2001 and north of Hillside Terrace is another area of the City that is still largely rural but has the potential to be redeveloped in the future. If redevelopment occurs, the parkland dedication ordinance again will provide sufficient neighborhood parks. The City should strive to work with developers to preserve the creek and small ponds within this area to provide a linear park with trails or possibly land for an east side community park.



Needed area: 2 to 4 acres
Priority: Medium if area density increases;
 Low if density remain the same.



Needed area: 5 acres +
Priority: High (when development begins to occur, and if annexed by the City)

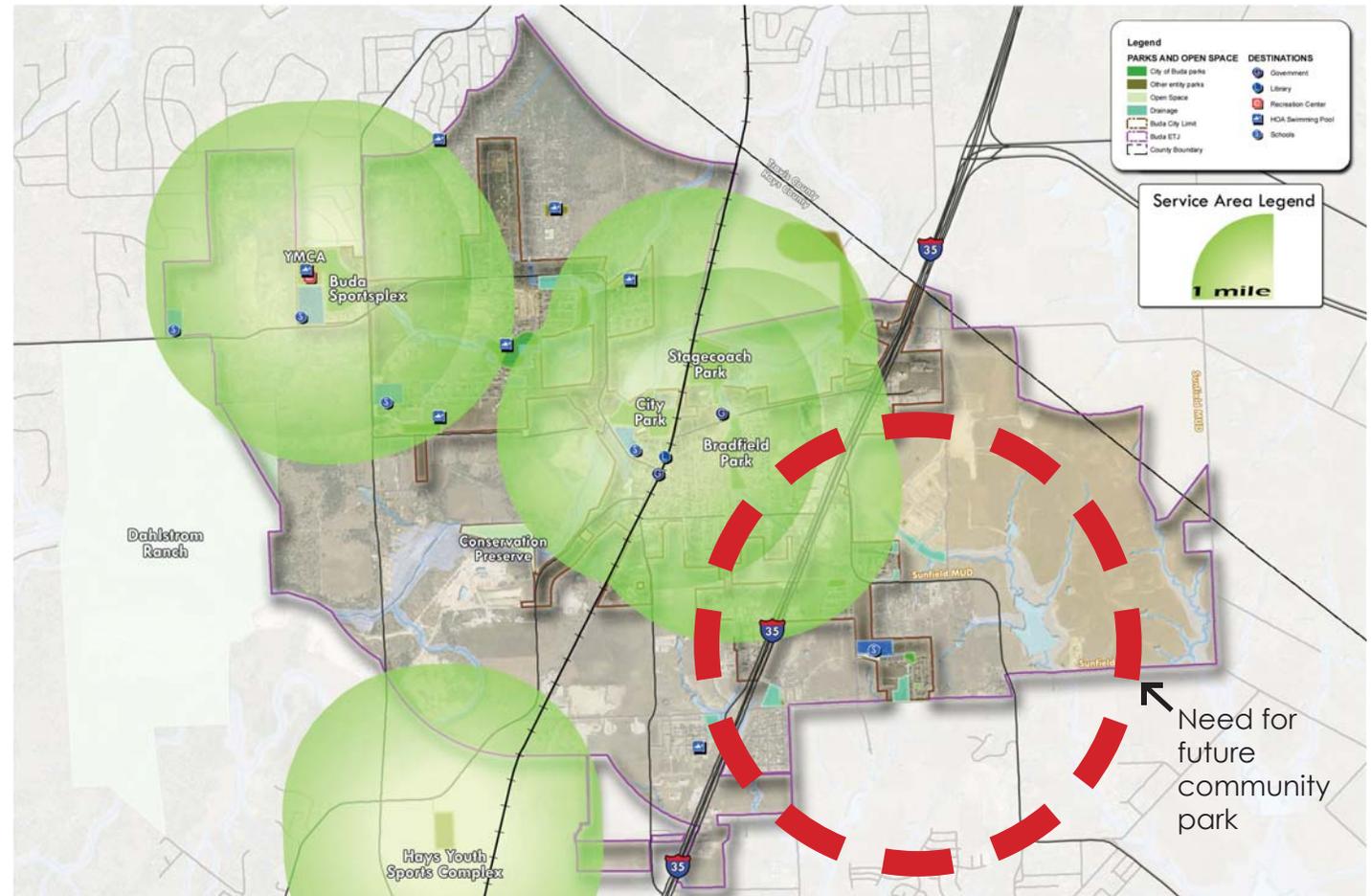


Community and Regional Parkland Acquisition

Buda's existing community and regional parks are meeting the needs of the current residents. However, all the existing community and regional parks are located on the west side of IH-35. The residents on the eastern side of Buda do not have easy access to a community park. A site for a future community park on the east side of IH-35 should be identified and acquired while land values remain relatively affordable. While land acquisition for a community park is a priority, development of the park might not be needed for another 5 to 10 years.

The site is intended to be used as an active park, and should include adequate land that can be converted into sports fields or other active uses. The ability to expand or reprogram this park site in the future should be considered, requiring approximately 20 to 50+ acres.

Community park needs in this area could be addressed by the Sunfield Development or by a public/private partnership between the City and the Sunfield Development.



Priority: High for identifying the park site;
Long-term for developing the park



B. EXISTING & FUTURE PARK RENOVATIONS

While some parks need specific renovations and enhancements, there are general renovations that can be made to all parks to provide a uniform “Buda” look. General renovations that can be made include:

- Upgrade park signs to a common design theme that expresses the unique identity and character of Buda. A standard for community parks would be the Stagecoach Park sign with cut limestone.
- Add shade structures over existing playgrounds (specifically to Bradfield Park, Green Meadows Park, Bonita Vista Park, Stoneridge Park, Garlic Creek Park, Cullen Country Park, Whispering Hollow Park, and Sportsplex).
- Increase shade in all parks by planting more trees where practical (goal of a minimum of 50 trees per year).
- Improve landscaping and overall beautification in parks by adding native trees, wildflowers and grasses. Native materials also conserve water.
- Install purple-pipe irrigation in all parks around the active use zones (athletic fields, picnic areas, playground areas, open play/practice areas).
- Ensure all improvements meet ADA requirements.
- Ensure that all existing and future park lighting complies with the “dark sky” principles.
- Add mile markers to existing and future trails.

Special enhancements that might be appropriate in some parks that the City should consider include:

- **Public art** - Public art has tremendous potential to contribute to the landscaping of a park and encourages contemplation as a way of passive recreation. Having prominent art in key locations will set Buda apart as a city that appreciates quality of life.

- **Wi-Fi access** - Access to the internet in parks is popular in many cities. Buda should consider providing Wi-Fi hot spots in community and regional parks. Wi-Fi access is already available at City Park, the Stagecoach House and Visitors Center, the Sportsplex, and the Downtown Greenbelt.

RECOMMENDATIONS TO SPECIFIC PARKS

City Park Renovations

City Park has been designated as a festival park, in addition to a community park, by direction of the City Council. However, renovations are needed in order for this park to properly accommodate the festivals and events that are to be held there now and in the future. At the same time, improvements are needed so the park can still serve as an every day park for the residents that live near it. Recommendations for City Park are discussed in more detail in Chapter 8.

Renovations to Bradfield Park

Bradfield Park has great potential to become a signature park in Buda. It has three ponds that are used for fishing; and water features such as this are highly valuable. Concept plans for this park include a loop trail around the three ponds. Further recommendations include:

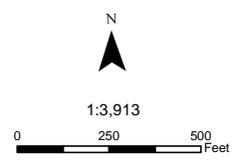
- Looped, crushed granite trails throughout the park
- Trailhead and parking lot off Main Street to accommodate approximately 20 +/- cars
- Fishing pier on larger pond to the north
- Possible water fountain features
- Shade structure over the existing playground and swing set
- Additional benches and landscaping throughout the park
- Access from Sequoyah, Bradfield, Bonita Vista Goforth, and Ashfor Park neighborhoods
- Exercise stations along looped trail



Bradfield Park Trail and Trailhead Connecting Stagecoach Park, and Downtown Buda



Legend	
	Pedestrian Bridge
	5' Concrete Trail
	6' Decomposed Granite Trail
	Railroad Track Crossing
	Pedestrian Crossing
	Low Water Crossing
	Converted_Graphics_63
	Water Fountains
	Wetland Enhancement
	Benches
	Waste Receptacles
	Fishing Pier
	Xeriscape Garden
	Native Landscaping
	Park Monument
	Bulletin Board/Info Kiosk
	Trailhead
	Property Lines



Concept plan for Bradfield Park



Renovations to Stagecoach Park

Stagecoach Park was consistently ranked as people's favorite park in Buda. The recommended improvements to this park are for the amphitheater area and creating a premier outdoor wedding/event venue. The image below describes the recommended improvements to the amphitheater.

Stagecoach Park Amphitheater Beautification for Weddings



- 1 Clear area behind stage so large live oak tree is the center of attention. Seed with wildflowers to create a beautiful backdrop.
- 2 Remove crushed granite and add rustic concrete pavers for wedding area.
- 3 Add irrigation and shade tolerant grass for additional seating.
- 4 Install arbor gateway at path leading from parking area.
- 5 Remove large dead live oak tree.
- 6 Install rustic poles for hanging plants, etc.
- 7 Raise ledge/wall and add plantings.



Recommended improvements to Stagecoach Amphitheater

Additional improvements to Stagecoach Park include:

- Restore Clint's Cabin
- Improve park drainage so that trails do not wash out during heavy rain events
- Add park lighting near the Stagecoach House and Visitors Center
- Add swing set

Renovations to Whispering Hollow Park

Whispering Hollow Park has great potential to accommodate special use facilities that the City current does not have. Recommendations to this park include:

- Install the City's first off-leash park
- Add picnic pavilions
- Potential site for a west side splash pad
- Add tennis courts
- Add swing set



Concept for off-leash park at Whispering Hollow Park



Renovations to the Sportsplex

Renovations to the Sportsplex include constructing the final phase of the park site master plan which consists of:

- 2 adult-size softball fields
- Additional playground area near baseball/softball fields
- Shade over playgrounds
- Additional trails
- Batting cages
- Field lighting
- More parking near baseball/softball fields
- Add LED scoreboard to each baseball/softball field
- Add more bleachers to baseball/softball fields
- Add swing set to playground area



TABLE 15 - SUMMARY OF RECOMMENDED RENOVATIONS TO EACH PARK

Park Name	Renovations	Park Name	Renovations
Bonita Vista Park	<ul style="list-style-type: none"> ■ Shade structure over playground ■ Walking path surrounding the park ■ Water drinking fountain 	Green Meadows Park	<ul style="list-style-type: none"> ■ Shade structure over playground ■ Water drinking fountain ■ Tennis courts ■ More trees ■ Add BBQ grills ■ Add electrical source ■ Splash pad
Bradfield Park	<ul style="list-style-type: none"> ■ Looped, crushed granite trails ■ Trailhead and parking lot off Main Street ■ Shade structure over playground ■ Fishing pier ■ Access from neighborhoods ■ Additional benches and landscaping ■ Water pond features ■ Exercise stations ■ Swing set 	Sportsplex	<ul style="list-style-type: none"> ■ Field lighting ■ 2 adult-size softball fields ■ Additional playground area ■ Additional trails ■ Batting cages ■ More parking near baseball/softball ■ Shade structure over playground ■ LED scoreboards ■ More bleachers ■ Swing set
City Park	<ul style="list-style-type: none"> ■ See Chapter 8 	Jackson Tyler Norris Memorial Skate Park	<ul style="list-style-type: none"> ■ Construction to begin Fall 2012 with Grand Opening expected March 2013.
Cullen Country Park	<ul style="list-style-type: none"> ■ Trail connection/extension to Garlic Creek Park ■ Shade structure over playground ■ Water drinking fountain ■ Swing set 	Stagecoach Park	<ul style="list-style-type: none"> ■ Enhance amphitheater ■ Renovations to Clint's Cabin ■ Add park lighting ■ Improve drainage ■ Swing set
Downtown Greenbelt	<ul style="list-style-type: none"> ■ Renovate gazebo ■ Extend trail to Skate Park ■ Additional benches ■ Trail mile markers 	Stoneridge Park	<ul style="list-style-type: none"> ■ Shade structure over playground
Garlic Creek Park	<ul style="list-style-type: none"> ■ Trail connection/extension to Sportsplex ■ Shade structure over playground 	Whispering Hollow Park	<ul style="list-style-type: none"> ■ Off-leash park ■ Splash pad ■ Additional picnic pavilions ■ Shade structure over playground ■ Tennis courts ■ Swing set



C. OUTDOOR RECREATION FACILITIES

The needs assessment section of this master plan noted that Buda has an adequate supply of park area, but that it lacks park facilities. During the public input process, there was a demonstrated need for these facilities. The following are the key outdoor facility needs in Buda, with rankings prioritized based on facility standards and citizen input.

1. Linear trails connecting parks and other key destinations
2. Shade structures and more trees
3. Aquatic facilities - splash pads/spraygrounds/swimming pool
4. Preserved open space and natural areas
5. Picnic pavilions
6. Amphitheater
7. Off-leash park(s)
8. Backstops/practice baseball/softball fields
9. Disc golf course
10. Sand volleyball courts
11. Practice Soccer fields

Key Facilities Recommendations

Walking, Jogging and Biking Trails - The City needs to begin to develop a true citywide trails network. Trails were the highest desired element in the citizen surveys. Buda has many looped trails within parks, but none that are connected to neighborhoods or area destinations. More trails need to be added that link parks, schools, neighborhoods, retail, civic building, and other facilities.

Reasons for developing a citywide trails system include:

- Trails can provide a means of transportation from one location to another during much of the year when the weather is favorable.



Additional trails were the most desired recreational facility to add in Buda.

- Trails create a very visible recreational element that contributes to the perceived quality of life in the city.
- Trails may be heavily used by all age groups.
- Trails are relatively easy to maintain, as opposed to many other types of recreation facilities.

The citywide network of trails is discussed in more detail in Chapter 7 - Trails Master Plan.

Shade Structures and Trees - The most requested amenity during the public input process was to provide more shade, both shade structures and trees. There are seven parks that currently need shade structures over the playgrounds: Bradfield Park, Green Meadows Park, Bonita Vista Park, Stoneridge Park, Garlic Creek



Shade structures, similar to those in City Park, should be replicated in all parks in Buda.

Park, Whispering Hollow Park, and Sportsplex. One goal for the City should be to create a playground shading program to install shade structures in one park each year for the next eight years. Any new parks that may be developed in the future should include shade structures as a standard amenity. Another goal recommended by this master plan is to plant, at a minimum, 250 trees over the next 10 years (averaging 25 trees per year).

Aquatics Facilities - Splash Pads/Spraygrounds/ Pools - Water

spraygrounds follow a trend in many cities, whereby the excitement of water is provided in a safe and clean environment. The principle is spray nozzles, drop buckets and other features that either regularly or intermittently (for a sense of surprise) spray and/or drop water on children excited with expectation. The water is collected



Splash pads/spraygrounds can easily be added as an exciting component of an existing park.



directly in surface drains from where it is circulated. Important factors to consider for the selection and preparation of an appropriate site are: accessibility and visibility; and leaves or other material that can possibly clog the drain system.

It is recommended that the City install a splash pad in each of the three planning sectors. The first splash pad is planned for City Park and should be constructed within three years. A second splash pad should be added to the west side of the City (possibly either Whispering Hollow Park or the Sportsplex) within five years. The final splash pad should be added to the east side of the City (possibly Green Meadows Park or a future community park) within seven years.

While there was some interest from citizens for a community swimming pool, Buda is currently not in a position to fund construction, operations and maintenance of such a large scale amenity. Instead, it is recommended that the City pursue an aquatics feasibility study within the next 10 years to determine if there is sufficient interest from the public, potential funding sources for this type of facility, and an appropriate location for an aquatics center. The need for a swimming pool should then be re-evaluated when updating this master plan in the future.

Open Space and Nature Areas - Through objective public participation efforts, many cities learn about the strong need that most citizens have to experience natural habitat and natural areas. However, most cities have never considered acquiring land for conservation purposes, partly because it is not programmed space. However, land with no particular program may fulfill the function of wildlife habitat and flood control. If managed correctly, such land typically requires the least amount of maintenance.



The corridor along Onion Creek is ideal for open space preservation.

Open space and natural habitat also provide a sense of visual, emotional and psychological relief to citizens. The provision of such land does not include the acquisition of undeveloped land only; but may include areas within existing parks where the establishment of native trees, wildflowers and native grasses is encouraged. This in turn allows for activities including bird watching and wildflower enjoyment.

The conservation of open space and natural areas also makes economical sense. It has been proven that the value of property adjacent or close to open space often has a substantial premium over the value of property in the same vicinity but not identified with the open space. Every effort should be made to secure the protection of existing natural areas and to restore disturbed sites.

Picnic Pavilions - Pavilions and other shade shelters with picnic tables are frequently used and requested by the citizens. Reasons for additional picnic facilities:

- Serve many diverse age groups
- Are key to recreational use during the warm seasons of the year
- Larger facilities may generate rentals revenue for the city



Pavilions in Buda should be designed with a unique and uniformed look.

Distribution should remain balanced throughout the City so that all areas have a good supply of park pavilions and picnic tables. Design and construct pavilions to have a uniformed looked.



The proposed amphitheater should accommodate up to 2,000 people on bleacher seating

Amphitheater - The City of Buda currently has one small amphitheater in Stagecoach Park; however it is not adequate for organized performances. The City should consider investing in a facility that offers:



- Tiered row space for 2,000 spectators, and lawn seating for an additional 3,000 to 4,000 people
- Adequate electrical service of a minimum of 200 amps or larger
- In close proximity to adequate restrooms and parking
- Water and electrical service for temporary utilities for entertainers' vehicle connection
- Pre-wired stage for lighting and sound
- Possible concession vendor accommodation

Amphitheaters are popular amenities as indicated by the various forms of public input that was received.



Off-leash parks are the fastest growing segment of city parks.

Off-Leash Park(s) - The purpose of off-leash parks is mainly twofold: running opportunities and socializing, both for the dog and especially its owner. Depending on what is allowed, off-leash parks need to be of a certain size to allow the turf to recover from wear and tear, as well as to absorb animal waste that is not picked up by owners. Water stations and waste dispenser/disposal stations, plus shade for dogs and their owners are features

that are important to the overall success of the park. Off-leash parks also usually contain double entry/exit gates, separated by an intervening area, to prevent other dogs from accidentally escaping when someone enters or leaves. Fenced areas are commonly zoned for big dogs and small dogs. Location must be well considered in terms of potential noise, odor and traffic, including the need for parking.

The fencing for an off-leash park has to be buried at least one foot in the ground to prevent dogs from digging out. Also, there needs to be two gates at the entrance for an exchange gate area - which allows the owner and the dog to enter one gate, remove

the leash, then enter the second gate into the off-leash park area. There should also be a large maintenance gate on the side to allow for easy access into the off-leash park for the mowing crew.

Backstops/Practice Fields - There is a significant deficit of practice fields in Buda which causes the leagues to use the game fields for practice. This leads to the game fields deteriorating faster. Backstops and soccer practice facilities should be included in neighborhood parks, and several practice facilities should be included in large community parks where feasible.

Disc Golf Course - Disc golf has become an extremely popular recreation activity, and one that is relatively cheap for cities to provide.

Sand Volleyball Courts - For many young people in some communities, sand volleyball is an opportunity to "see and be seen." This requires sand volleyball courts to be implemented in a highly visible place, as well as clumping them together, such as at City Park.

Practice Soccer Fields - The current soccer fields are in adequate condition. For the City to continue to provide fields for recreational leagues, additional soccer fields will be needed, and lighting will need to be added to the existing fields.

Outdoor Recreation Needs for Senior Citizens

In terms of outdoor recreation, Buda should provide recreation facilities specifically geared towards senior citizens. The top seven outdoor recreational needs for seniors include:

1. Exterior fitness stations
2. Passive overlooks and nodes
3. Walking trails
4. Shade pavilions and picnic shelters
5. Field for outdoor lawn games such as bocce ball, horseshoes, lawn chess, etc.
6. Fishing piers
7. Community gardens



D. PRESERVATION OF OPEN SPACE

Preservation of undeveloped natural areas in Buda is a key element in maintaining the quality of the City. These natural areas stand out from the developed parts of the City and are highly valuable. Most of these areas are associated with the creeks, but any open space should also focus on preservation of trees and forested areas. Areas that have habitat value and warrant habitat protection typically include creeks, floodplains, wooded areas, and areas of topographic change. Open space also includes cultural landscapes which are either landscapes with historic value or managed as farmland. Key types of open space to preserve in Buda are as follows:

- **Natural areas along Onion Creek and Garlic Creek, including node parks and trailheads at public right-of-ways for access to the creeks.** Preserve all flood prone lands, and develop ordinances that guide development along the corridors so that it is constructed in a manner that is compatible with the preservation of existing trees and floodplain.
- **Bodies of water, as well as the natural areas surrounding these bodies of water.** Ponds and detention basins should be preserved in a natural state wherever feasible.
- **Natural drainage ways and small creeks throughout the City and ETJ.** Where feasible, these areas should be preserved in a natural state, along with all significant existing vegetation/trees.
- **Land identified as possessing natural and**

culture importance including moderate and steep slopes; rocky outcroppings; groundwater resources and their recharge areas; woodlands; large-lot ranch style homes to ensure the rural character of the City; significant wildlife habitat; historic and archaeological features; and scenic viewsheds.

Outright purchase or acquisition of these areas by the City of Buda is not always necessary for preservation. Non-development agreements, transfer of development rights, or the purchase of development rights can be used to permanently preserve many of the areas noted above. The following pages provide a detailed discussion of various preservation methods that the City can utilize.

Preservation Methods

The open space plan for Buda should include consideration and possible acquisition of all of the opportunity areas along Onion Creek and Garlic Creek. However, the cost to preserve all of those areas will be significant, and will be more than the City can bear at one time. Therefore a combination of different methods should be used to draw more attention to the need for open space and to bring consideration of open space into the development process. These methods can be grouped into three general categories described below.

A. Regulation Methods

A.1 Making drainage and detention facilities an integral part of the open space plan

- Through changes to both zoning and subdivision regulations, require that drainage



and pond features be designed to have a much more natural appearance. These features are required in many developments. A recommendation is to make them an integral part of the development, rather than an afterthought or features to be hidden away as unusable space while the remainder of the development has no other open areas. While this may require some additional land, the resultant benefits to the appearance of the City as a whole are far greater.

Required Action – change to subdivision code as necessary, approval by the City Council.

Recommended Timeframe – within 6-18 months.

A.2 Require the preservation of at least 75% of the land area of existing creeks in undeveloped areas - Through subdivision regulations, require that a minimum of 75% of the floodplain area of existing creeks or drainage areas in undeveloped lands be preserved. These areas should be permanently preserved as open space parks, but can also be used for drainage if left in a mostly natural condition. In areas designated as parks, creeks should remain in their existing natural state. This would be in addition to the land required for parks by the Parkland Dedication Ordinance.

Required Action – policy change to Subdivision Ordinance, approval by the City Council.

Recommended Timeframe – within 6-18 months.

A.3 Incorporate open space donations as a part of the Parkland Dedication Ordinance - On specific properties where unique natural features cross a tract of land that is slated for development, the parkland donation can encompass some of that unique area. Given the amount of land for parks that is required, the required donation would probably not encompass an entire drainage way, but might help to defray the cost of purchasing some of the natural feature. The City Council and the Parks & Recreation Commission should have the power to select and/or reject the open space to be donated.

Required Action – policy change to Parkland Dedication Ordinance, approval by the City Council.

Recommended Timeframe – within 6-18 months.

It is important to note that when trading for open space instead of parkland, an “active” park that might have served that neighborhood will not be built. But the City might accrue additional savings from the reduced maintenance of open space instead of a major park.

Required Actions – The parkland dedication ordinance must be changed to incorporate the following:

- Permit open space as an acceptable donation option to meet dedication requirements, but only at the discretion of the City parks and planning directors. The choice of parkland or open space should be driven by the City, not by the developer.
- Specifically mandate that the drainage area channels not be allowed to count as parkland dedication. However, allow creeks left in a natural state but used for drainage purposes to count as parkland (if deemed acceptable by the City Parks & Recreation Director and Planning Director). Only excess fringe areas should be allowed to serve as parkland.
- Add language that allows fees collected as part of the parkland dedication process to be used to acquire either parkland or open space.
- Require that existing natural drainage be maintained wherever possible, rather than allowing channelization of drainage features. The Engineering, Planning, and Parks & Recreation Departments, rather than the developer, shall direct the city's preference. Changes to the city's standards for channel design should focus on natural solutions as a way of both drainage, beautification and open space enhancements for the residents of the city.
- Before accepting any donations required by the ordinance, the City of Buda, not the developer, decides where the



parkland is to be located based on topography, natural features, trees, etc.

A.4 Modify subdivision regulations to require preservation of views and access to open spaces when adjacent areas are developed - In areas where creeks or very unique natural area occur, the subdivision regulations should be required to provide better access and views to the open space. For example, at least 75% of the perimeter of creeks and other unique areas should be bounded by streets or accessible space rather than the backyards of homes. Open spaces, if acquired as part of the public domain, should not be reserved for just a few, but should be accessible to the general public.

Required Action – policy change to Subdivision Regulations, approval by the City Council.

Recommended Timeframe – within 6-18 months.

B. Acquisition and Preservation Strategies

B.1 Through council action, permanent preservation of critical open space assets that are already city-owned - Some open space opportunity lands now owned by the City could be permanently preserved by action of the Buda City Council.

Required Action – designate specific properties that should be preserved, approval by the City Council.

Recommended Timeframe – within 6-18 months

B.2 Acquisition via purchase by City of Buda - Where funding is available, land can be purchased by the City of Buda. The high cost of land and the scarcity of available funding make this option feasible only in rare instances.

Required Action – consider future bond proposition (Quality of Life) to acquire non-floodplain open space lands.

Recommended Timeframe – within 2-5 years.

B.3 Acquisition via purchase by school district - As districts acquire land for new schools, the locations can be planned to be adjacent to valuable open areas. Districts typically acquire land well in advance of development when land values are low. The open space areas over and above the pure needs of the new school can be retained by the district and traded to the City of Buda in exchange for complimentary services.

Required Action – joint planning with Hays CISD to identify potential acquisitions and negotiations.

Recommended Timeframe – within six months to two years.

B.4 Acquisition via donation as part of the development process - Lands may be acquired by outright donation during the development process. In other cases, density bonuses may be traded for the preservation of some open space.

Required Action – planning during the development process to ensure that proposed donations are appropriate; acceptance as part of the zoning and platting process.

Recommended Timeframe – ongoing as development occurs. Ensure that city staff are trained to recognize potential open space opportunities.

B.5 Acquisition via trade for other City-owned lands - In some cases, lands that are considered extremely valuable open space assets could be acquired by trading them for other city owned lands. This may be a last resort methodology, but could help to preserve truly valuable areas of land. Trade suggestions should be initiated by staff or Council only, and not by the property owner.

Required Action – policy change to Subdivision Regulations, approval by the City Council; designate staff to respond to potential trade opportunities.

Recommended Timeframe – as opportunities arise.

B.6 Acquisition through purchase by other entities - Local, state





and national land trusts can raise funds to acquire open space, and then manage the lands or pass them on to the City of Buda.

Required Action – policy to establish conditions under which the City would accept lands acquired in such a fashion.

Recommended Timeframe – as opportunities arise.

B.7 Acquisition by private homeowner associations - In this case, the area homeowners pay an additional amount over their normal tax responsibilities to pay for the land acquisition. Deed restrictions that permanently designate the acquisition as open space should be established. Where the City is involved, public access to the land via trails should be considered.

B.8 Acquisition by private sources for private use - Private groups may also acquire open space with their own funding. Deed restrictions that permanently designate the acquisition as open space should be established. Where acquisition is funded in this manner, the land may be maintained by the private source and access restrictions may be imposed. However, the open space should remain visible from publicly accessed roads, and in some cases where key linkages must go through the property, trails should be considered.

Required Action – no immediate action, establish policy and criteria for consideration if necessary.

Recommended Timeframe – no immediate action.

B.9 Acquisition by Hays County - Some open space lands should be acquired by Hays County. Once acquired, these lands can be maintained by the County or turned over to the City of Buda to maintain as open space preserves. Lands acquired in this fashion could also be used as habitat conservation land areas.

Required Action – agreement with Hays County, requires County to designate funding.

Recommended Timeframe – as opportunities arise.

C. Incentives to Preserve Open Space

C.1 Allow trading of density for preservation of open space - Higher densities may be allowed through special ordinances in exchange for the preservation of open spaces over and above what is already required. Also, allow development to be clustered at higher densities so as to preserve open space in other parts of the development.

Required Action – policy change to Zoning Ordinance, approval by City Council

Recommended Timeframe – within 6-18 months.

C.2 Allow the waiving of development fees - In exchange for open space, development fees may be waived on a case-by-case basis. While the value of this incentive is relatively small, it may still allow additional smaller pieces of open space to be preserved.



Required Action – policy change to Subdivision Regulations, approval by the City Council.

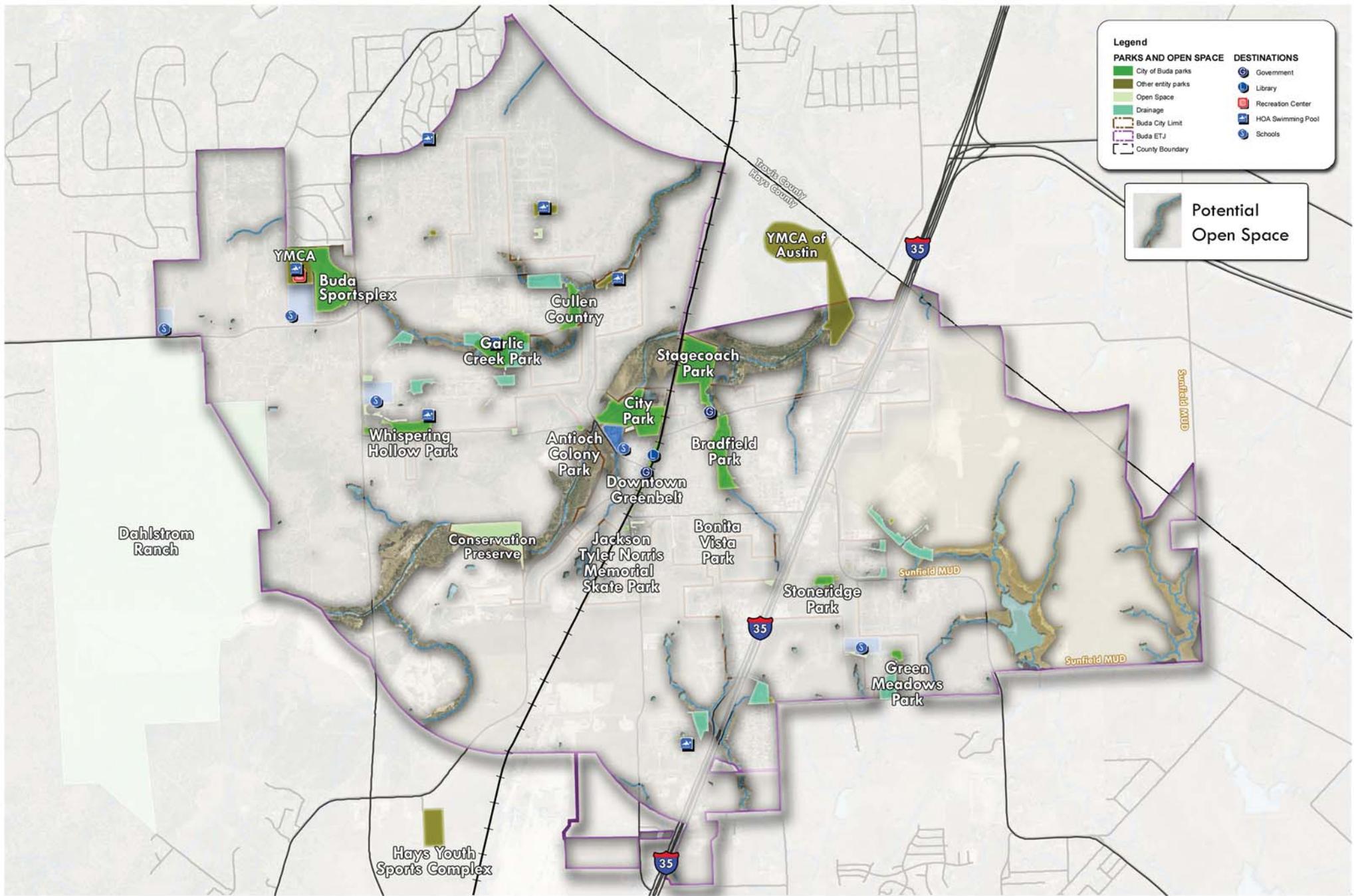
Recommended Timeframe – within 6-18 months.

C.3 Deferral of property taxes - In exchange for permanently preserved and very unique open space, and only in very specific cases, property taxes may be deferred or frozen for a contiguous property.

Required Action – establish conditions and city policy for deferral, approval by the City Council.

Recommended Timeframe – establish policy within 12 months





Legend

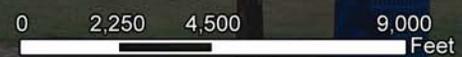
PARKS AND OPEN SPACE	DESTINATIONS
■ City of Buda parks	Government
■ Other entity parks	Library
■ Open Space	Recreation Center
■ Drainage	HDA Swimming Pool
Buda City Limit	Schools
Buda ETJ	
County Boundary	

Potential Open Space

Areas for Potential Open Space Preservation

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



E. INDOOR RECREATION FACILITIES

Indoor recreation programming is a key component of most modern city's recreation system. These programs increase fitness and allow a city to diversify what it offers. Buda's current indoor recreation needs are only being met by the YMCA; the City of Buda currently does not have a facility capable of offering indoor recreation. Annual YMCA memberships can be expensive and beyond the capability of many families in the area. There is a current need for a community center-type facility to allow programs and fitness classes as well as to provide space for community gatherings. The need for a larger, modern indoor recreation facility will grow as the City expands beyond the year 2022.

The most popular programs that residents of Buda indicated they were interested in include: yoga, pottery, jazzercise, dance (western, ballroom), spinning, photography, and Tai Chi.

Key spatial needs for classrooms and program rooms should be considered to address the growing need for indoor recreation in Buda. The top four indoor recreation recommendations Short- to Medium-Term are:

1. An enclosed special events building is planned for City Park (see City Park concept plan in Chapter 8). When festivals/special events are not taking place, this building can be constructed so that it serves as a small community center space where programs, such as those listed above, can be held.

2. The facility can be used to provide programs and learning for senior residents of the area.

3. Adding partitions to this building will allow for multiple classrooms and programs to occur simultaneously.

4. Indoor rental facilities for family gatherings/events/reunions, etc. The City should consider duplicating the special events building, on a much smaller scale, and placing these indoor rental facilities in a few select community parks around the City (one in each planning area).

Enclosed Special Events Building in City Park

The proposed enclosed special events building that is to be constructed in City Park, is approximately 4,000 square feet of indoor space. This will be the first indoor facility for the City's Parks and Recreation Department. The building will be available to the many festivals that take place throughout the year in City Park. Beyond festivals, the building can be rented for a variety of other events (weddings, reunions, company picnics, etc). Additionally, the building can serve as a space for recreational programs during the week such as yoga, jazzercise, dance, etc. or as a venue for programming for senior residents. Ideally, this is a rental facility that could provide revenue for the City.



Examples of indoor community center spaces in other Central Texas cities.





CHAPTER 7

a trails master plan for buda



WHY PLAN FOR TRAILS IN BUDA?

Buda has enormous potential for trails along creeks and utility corridors. During the public input process, residents mentioned time and time again that trails were the one recreation amenity they desired. No matter where one goes in the State of Texas or across the Country, trails are popular. They are extensively used and enjoyed by people of all ages, and offer benefits such as:

- They can be used by everyone, from the very young to the very active to the elderly.
- Trails provide opportunities to engage in exercise in a fun setting, whether by simple walking or through more strenuous use such as running or bicycling. They help us lead a healthier lifestyle.

“In the nineteenth century we built the railroad system and in the twentieth century we built the highway system. In the 21st century we will reconnect America with a network of trails and greenways.”

David Burwell, President of Rails-to-Trails Conservancy, 2000

- Trails provide alternative ways to commute to key city destinations such as schools, retail areas, and work.

- Trails support economic development by creating attractive greenbelts that can revitalize areas and enhance neighborhoods. Trails provide

access to local businesses, and provide tourism opportunities. A great system of places to walk and ride to will make Buda a more attractive place to live, work and play.

- Trails help preserve greenbelt areas and help beautify linear park corridors.
- Trails help us learn about the history and culture of Buda by preserving key historical features and areas, and by making these areas more accessible to view.

PURPOSE OF THE BUDA TRAILS MASTER PLAN

This master plan envisions a system of trails that connects all of Buda, by allowing someone to go from one end of the City to the other in a fun, safe and healthy way. This master plan identifies key trail corridors and guides the creation of a citywide trails network. A master plan such as this will provide guidance on the preferred location for trail corridors, and will help the City preserve greenbelt corridors for trail use. The trails plan will also provide a framework through which the City of Buda and the private sector can work together to jointly create spectacular trail corridors. Finally, this plan will help Buda staff, elected officials and citizens make informed decisions as to how to fund trail development in a satisfactory manner.

The development of a trails plan clearly speaks to Buda's commitment to establish a very high quality of life standard for its citizens. This commitment to quality tells everyone that Buda will seek to be a premier place to live and to do business in the Central Texas area.

This trails plan is flexible; it must continue to be useful even as Buda grows and changes. This plan will serve the City for many years, but should be periodically updated so as to reflect current conditions within the City and the surrounding area.

PRINCIPLES OF A TRAILS PLAN

The system of trails and pedestrian connections recommended in this trails plan creates an opportunity to enhance not only recreation opportunities but also to influence the appearance of much of Buda. This plan is both visionary and practical. The visionary component foresees a network of beautiful corridors that seamlessly allow a user to easily go anywhere in Buda by walking or riding. The practical side envisions connections to all neighborhoods via readily accessible, wide, safe and attractive pathways.





The following principles were developed through the master planning process, and serve to guide the alignment and layout of both the trails proposed in this document as well as additional trails proposed in the future.

- **Create a citywide network of trails** - The ultimate goal is to create an interconnected network that allows someone to travel across all of Buda. Unconnected sections should be united into an overall system of continuous trails. Trails can be used for both transportation and recreation. The City should create facilities that can allow for commuting and short trips to retail and civic destinations.
- **Promote a feeling of security on all trails** - Trails should provide a smooth, walkable, visible corridor that feels safe.
- **Access** - Access to the trail system must be maximized as much as feasible. This may range from simple sidewalk connections to the trails, to complete trailheads with parking and comfort facilities such as shade shelters and restrooms. The City can encourage use of the system by creating easy access to trails, and creating a trails map for distribution.
- **Trails should enhance Buda** - Trails should enhance the physical appearance of the City, whether through new pedestrian features, landscaping and lighting added to the trail corridors, or simply by revealing natural areas not previously visible to the general public.
- **Provide a variety of trail opportunity types** - Provide trails that are suitable for a variety of activities including walking, running, bicycling, in-line skating, and even paddling. Provide a variety of nature trail opportunities where feasible with crushed granite, wood chips, a natural soft surface, or mulch. Finally, consider paddling trails along Onion Creek when it is navigable.
- **Character of the City** - Trail segments should be designed so that they promote the physical and historical character of the City of Buda. They should relate to adjacent neighborhoods where available. Trail corridors provide unique opportunities about the history, culture and accomplishments of Buda. Trails provide access to the natural habitat in the City, and should offer ample opportunities to learn about the environment. Include interpretive facilities where feasible to incorporate signs and features that provide opportunities for learning about Buda and its cultural heritage.
- **Connectivity** - Where possible, trail corridors and alignments should be designed to enhance linkages between parks, neighborhoods, schools, civic facilities, and community destinations. The citywide trails system is proposed to connect to other surrounding communities such as Austin and Kyle.
- **Create partnerships** - The citywide trails system should encourage the creation of public and private partnerships that help build the entire system more quickly.



CATEGORIES OF TRAIL TYPES AND STANDARDS IN BUDA

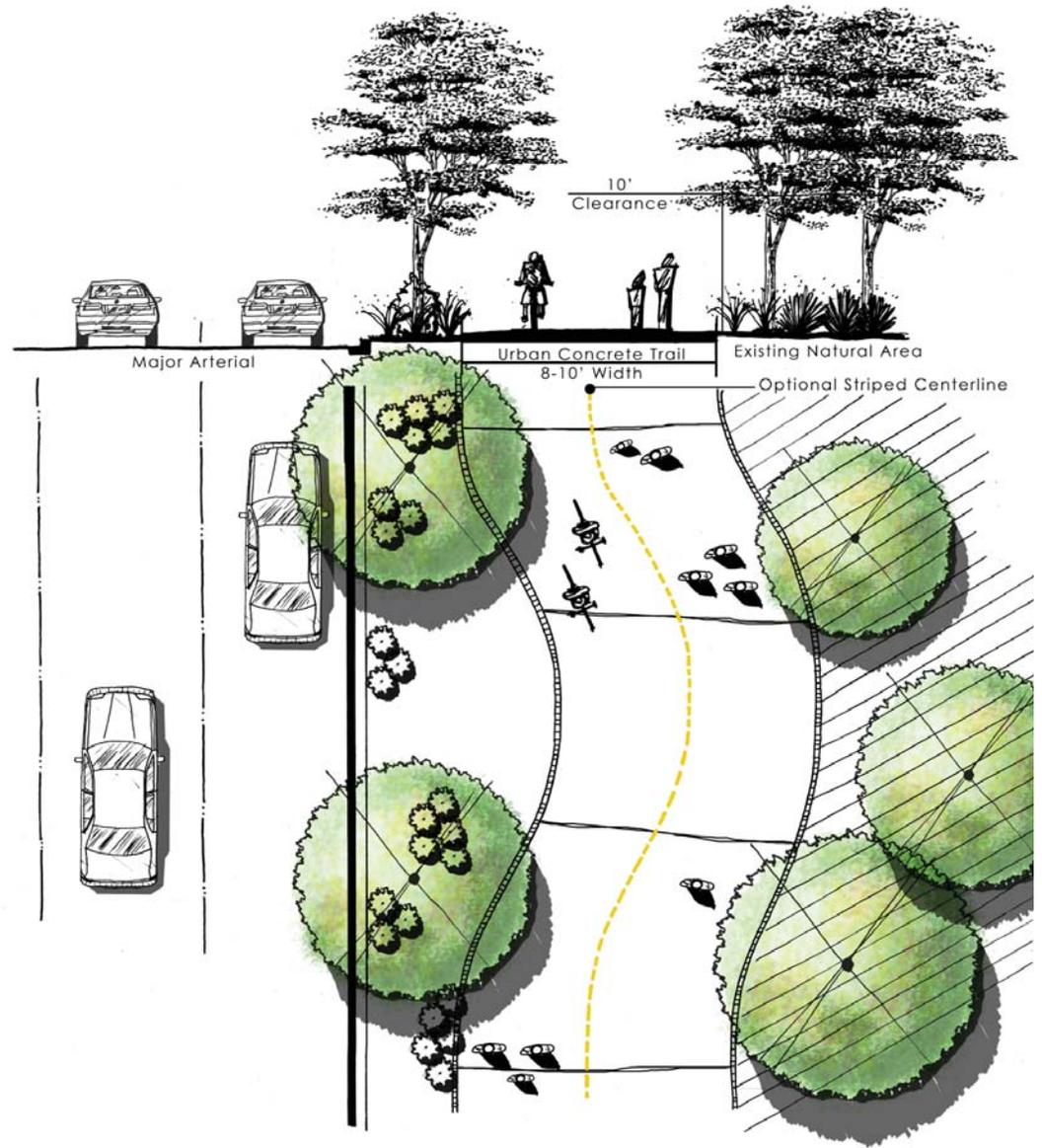
Trails in Buda will encompass several key types of facilities, each with its own size and character requirements. Categories of trail types are discussed in greater detail below.

Urban Trails/Sidepaths

Urban trails/sidepaths are community wide paths; and are the highest priority of this trails plan since they provide connectivity between many different parts of the City. Urban trails/sidepaths are intended to provide access from one part of the City to another, and in essence become the "spine" system for the City. This type of path provides an easy route to travel longer distances. Typically these paths are recommended to be a minimum eight feet in width, but in a few rare cases in Buda, they may be ten feet wide where a significant volume of users are anticipated and the right-of-way allows it. These paths should be constructed using concrete for durability. The most significant characteristic defining an urban trail/sidepath is that they are located adjacent to major arterial roads. The overall parkway zone should be at least 15 to 20 feet wide to allow for at least six feet of clearance between the street curb and the path, and ideally another four feet between the path and the adjacent property line. In some cases, additional width may be required to accommodate drainage or other utilities.

These paths can include amenities such as decorative light fixtures, landscaping, ground cover, and various surface treatments at intersections and crosswalks. Landscaping beautifies the corridor, especially with the use of large row trees. A minimum landscaping clearance of ten feet is needed because of bicyclists using the path.

Buda currently does not have any existing urban trails/sidepaths.



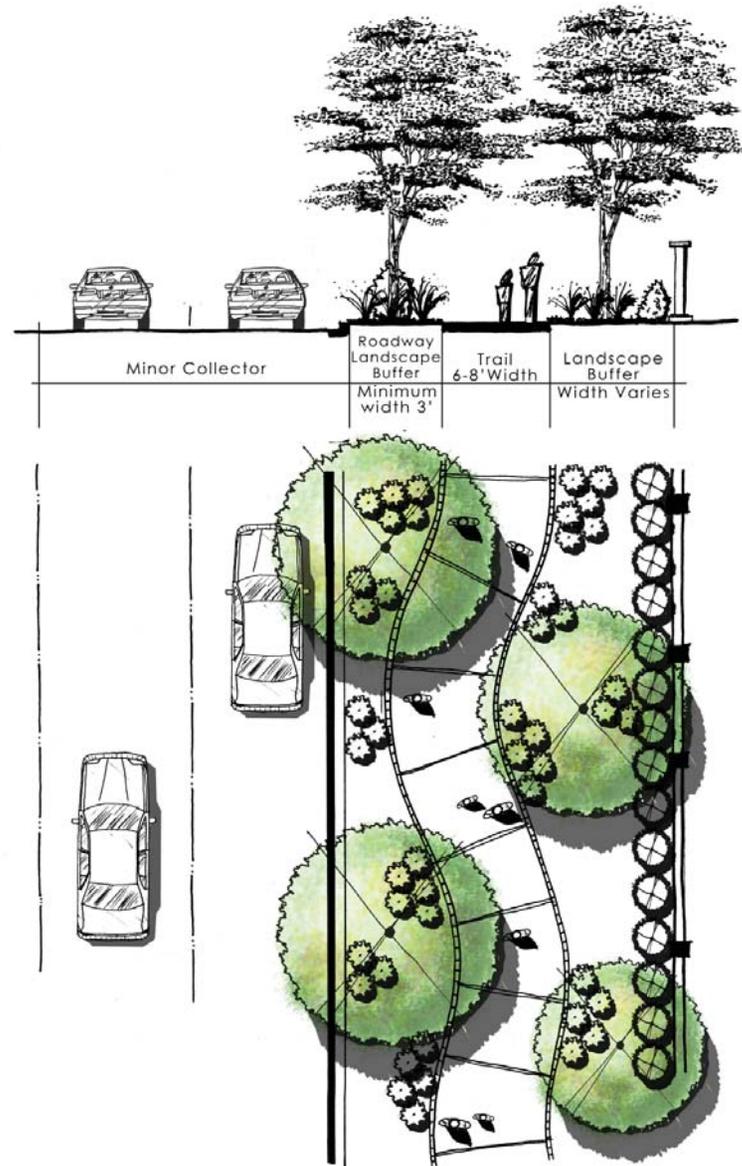


Neighborhood trail in Sunfield

Neighborhood Trails

Neighborhood trails provide access from each neighborhood to the larger spine network of trails. Neighborhood trails are typically six to eight feet in width, and are constructed with concrete for long range durability. However, they can also be constructed of crushed granite if no danger of excessive flooding occurs.

Neighborhood trails are often located along minor collector streets, and allow tighter curves to introduce more interest into the trail segments. Access points to the trail are from neighborhoods, streets, parks or schools.



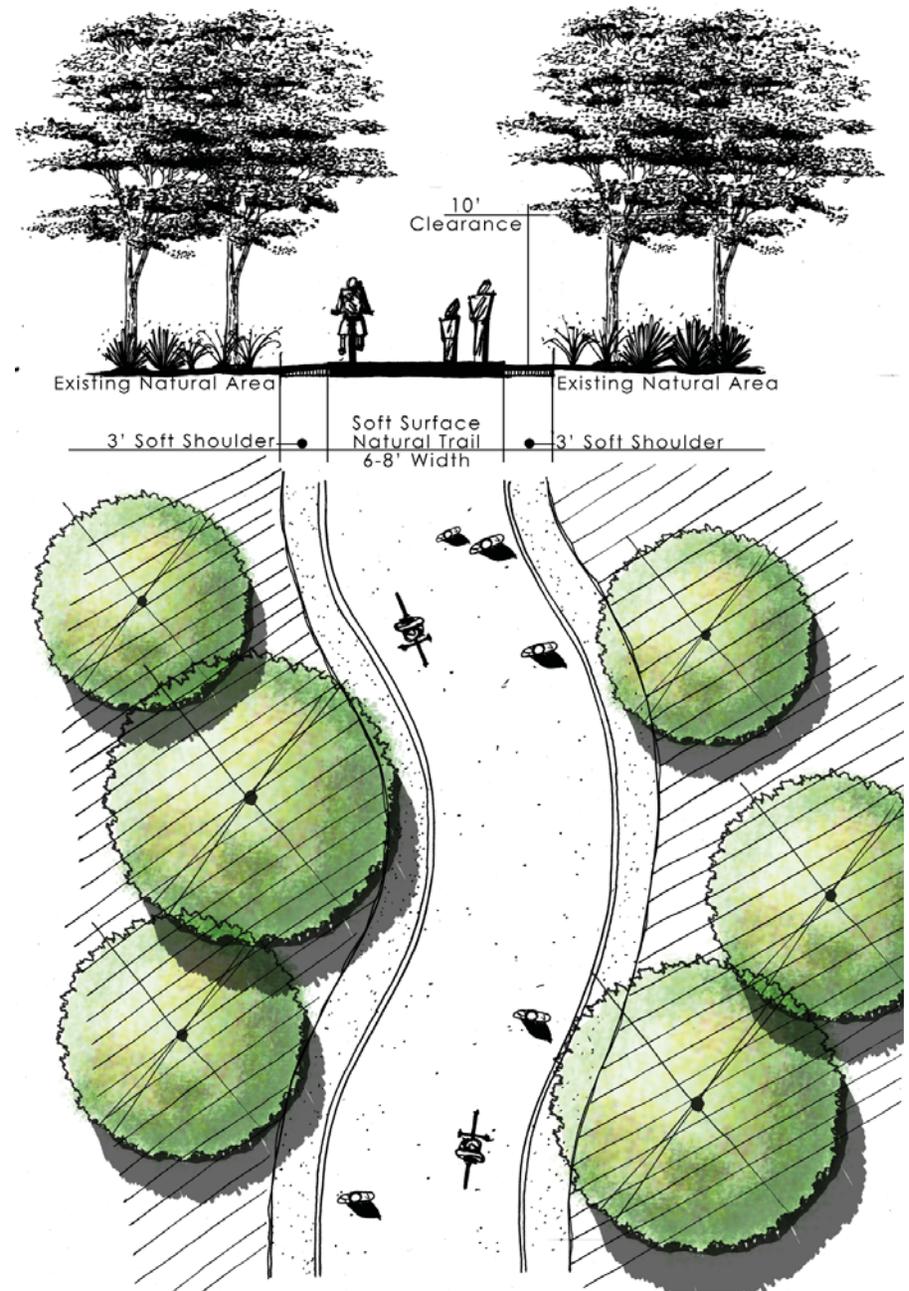


Nature trail along Garlic Creek

Natural Corridor Trails and Trails within Parks

Nature trails are typically a compacted earth surface such as crushed granite. These trails should be a minimum of six feet in width, but in some cases where feasible, a width of eight feet is recommended to allow for great visibility within the understory and to accommodate more trail users.

Normal obstructions such as roots, rocks and understory vegetation should be cleared from the walking pathway. An additional two to four feet shoulder zone is needed on either side of the trail. Bridges and drainage crossings should be constructed using wood and timber materials, and should be rustic in appearance. Potential natural corridors exist along Onion Creek and Garlic Creek. It is recommended to use trail surfaces that create an atmosphere that is compatible with the natural beauty of the corridor, and that results in a very pleasant trail environment. The existing trails at Stagecoach Park and Garlic Creek Park are excellent examples of this.





Sidewalk connector in Cullen Country neighborhood

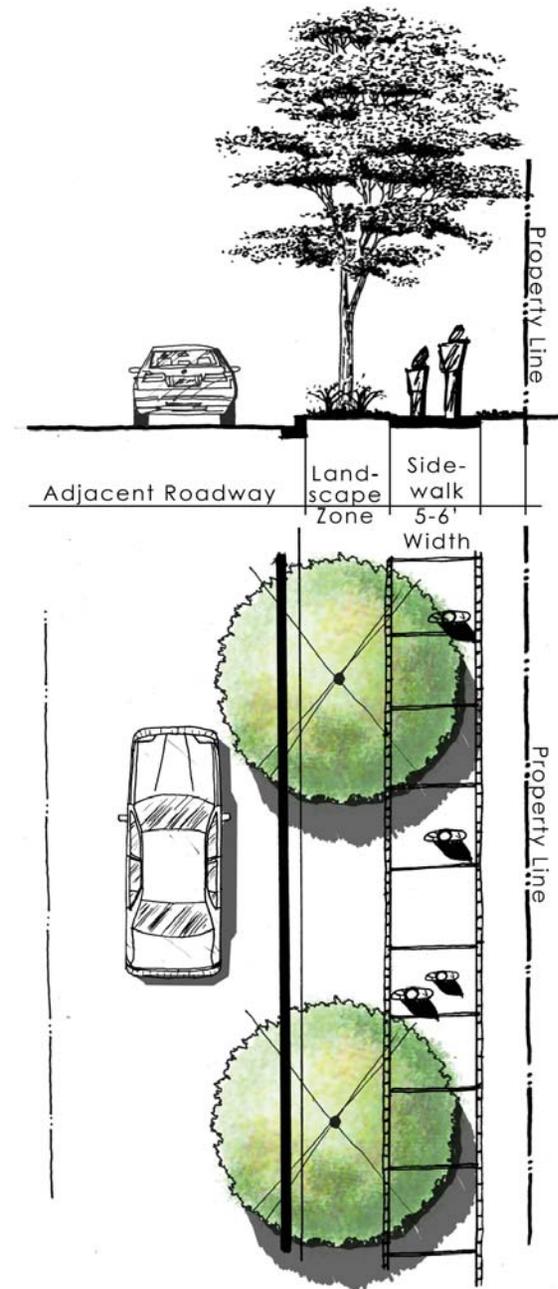
Sidewalks and Sidewalk Connectors

Sidewalks provide connections to trails from neighborhoods, schools and businesses. The recommended minimum width of sidewalks in Buda is five feet, which allows two adults to comfortably walk side-by-side. The difference between a sidewalk and a sidewalk connector is the latter is often placed between houses, connecting each street to a destination within the same neighborhood. Future sidewalk connectors should be five to six feet wide, and can include pedestrian-scale lighting.

One important consideration is that sidewalks are intended for pedestrians and generally are not appropriate facilities for bicycle use. The primary reasons for this are that sidewalks are narrower than trails and in most cases, sidewalks have many driveway and intersection crossings which increases the risk for bicycle/automobile collisions.



Sidewalk along Cabela's Drive



Other Potential Trail Types for Buda

Paddling trails - Paddling trails could be developed along Onion Creek by allowing canoes and kayaks to be used. Paddling trails are a very specialized type of facility, yet they are very cost-effective for the recreational opportunities they provide. When there is water flow, Onion Creek can be a great opportunity for canoers and kayakers because it has scenic value. A paddling trail requires very little capital investment compared to other facility types, and almost no operational costs. The facilities needed in order to turn Onion Creek into a paddling trail include mile markers, and put-in/take-out spots which are the riparian version of a trailhead. These facilities should be located at areas with relatively flat river banks which extend into somewhat shallow water and must have easy access to a street. Ideally put-in and take-out areas should have parking areas (either paved or unpaved), drinking fountains, and informational kiosks to warn canoers and kayakers of potential hazards on the creek. A put-in and take-out area should be spaced every one to two miles.

On-street or striped bicycle lanes - Off street trails that are intended to accommodate bicycles are referred to as multi-use paths. Most urban trail paths in Buda should be designed to readily accommodate bicycles. On-street bicycle facilities

should be identified by the City's Transportation Master Plan that permit relatively easy riding. Specific facilities for bicyclists can include a striped bicycle lane with a minimum of five feet in width from the street edge of the gutter pan, or the use of a shared-use lane marking (sharrow).

A report by the U.S. Centers for Disease Control and Prevention published in 2001 found that nationally, only 16% of children ages 5 to 18 years walk or bike to school, when one generation ago, nearly 90% of students walked or biked to school.

PEDESTRIAN CROSSINGS

Pedestrian bridges, at-grade crossings, and underpasses provide access across barriers that would otherwise hinder connectivity of the trails system. These are significantly important to Buda because there are only three opportunities to cross IH-35, the most difficult barrier, and connect the east and west sides of the City.

Pedestrian Bridges

Pedestrian bridges are required in locations where typical drainage channel crossings spans anywhere from 50 feet to 200 feet. These bridges may be typical pre-fabricated designs, but should always strive to be a step above the customary steel bridge design. From a user's perspective, bridges should be at least as wide as the trail and preferably one to two feet wider on each side. This is so pedestrians can stop and view the adjacent scenery without obstructing the trail. Any bridge that is specially designed for bicycle traffic must have appropriate railing for bicyclists. Texas has adopted the AASHTO Bridge Design Specifications requirement that bridge railings that are designated for bicycle traffic should be a minimum of 54 inches high with the same restrictions on openings as for pedestrian railings. Pedestrian railing openings between horizontal or vertical members must be small enough that a 4-inch sphere cannot pass through them in the lower 27 inches. For the portion of a pedestrian railing that is higher than 27 inches, openings may be spaced such that an 8-inch sphere cannot pass through them. Decking material should be firm and stable on a pedestrian bridge. Also, bridge approaches and span should not exceed 5% slope for ADA access.

Bridges should accommodate maintenance vehicles if necessary. Bridge structure should be out of the 100-year floodplain. Footings should be located on the outside of the stream channel at the top of the stream bank. The bridge should not constrict the floodway. All bridges and footings in the stream corridor will need to be designated by a registered geotechnical or structural engineer.



Cost, design, and environmental compatibility will dictate which structure is best for the trail corridor.

Signalized Pedestrian Actuated Crossing

A signalized pedestrian actuated crossing is similar to a pedestrian signal light, except they are located at mid-block crossings instead of at an intersection. This type of crossing should have a painted crosswalk provided. They are often installed where there is heavy pedestrian traffic and more frequent crossing opportunities need to be provided. Mid-block crossings are



easier for pedestrians to use because traffic is flowing in two directions only; however, it can also be dangerous if not highly visible because motorists might not expect pedestrians to be crossing at that location.

When using a signalized pedestrian actuated crossing, the pedestrian would push a button to activate the signal at the crossing. A flashing yellow light warns drivers approaching the crosswalk of a pedestrian wanting to cross the street. The flashing yellow light is followed by a solid yellow light telling drivers to be prepared to stop. The signal then changes to a solid red light for drivers to stop at the crosswalk intersection. At this point, the pedestrian has a protected crossing and can cross safely. The solid red light will then begin to flash red indicating that drivers can proceed through the crosswalk when it clear and safe to do so.

There are two places within Buda where a signalized pedestrian actuated crossing is proposed by this master plan. Both are located on Main Street, at the already existing pedestrian mid-block crossings (near Carrington House and near old grain mill).



At-grade Crossing

At-grade crossings utilize crosswalk markings, crosswalk signals and timers, special paving, accessible ramps, and decorative lighting to designate crossing locations.

Below-grade Crossing/Underpass

Below-grade crossings and underpasses typically will go under existing vehicle bridges to create a safe crossing and a more direct route under a busy street. Connections to street level are required to allow access to and from the trail corridor. From the standpoint of a user, below-grade crossings and underpasses should be well lit and attractive, and most of all project a sense of security. A minimum clearance of eight feet is recommended, but ten feet is preferred.



EXISTING TRAILS IN BUDA TODAY

Trails were consistently ranked as the number one needed amenity in Buda during the public input process. Currently there are 14.7 miles of trails within Buda. While the current level of service and the distribution of trails are very good when compared to other Texas cities, the existing trails are contained within parks or at the entrance of subdivisions. They do not connect to each other or other destinations. Therefore, the target level of service is set high to reflect the public's desire and need for a connected trails system.

Current trails are designated as trails within parks or any facility six feet wide or greater. The existing 14.7 miles includes city built trails and private-developer built trails. This yields an existing level of service of one mile of trail for every 496 residents.

Key Existing Trails Include:

Stagecoach Park (1.9 miles) - the trails within Stagecoach Park are the most popular trails in the City. They are crushed granite, and loop throughout the entire 52 acre park. A priority recommendation is to connect these trails to City Park and the Downtown Greenbelt. There are already plans in place to add a sidewalk along Main Street to connect this park to Bradfield Park and the trails that are to be built there.

Downtown Greenbelt (0.5 miles) - the Downtown Greenbelt runs parallel to Main Street and the railroad tracks. The trail along this greenbelt connects the downtown shops and restaurants to the library and city hall. One priority recommendation of this master plan is to extend the trail so that it connects to the Jackson Tyler Norris Memorial Skate Park.

Garlic Creek/Whispering Hollow/Cullen Country/Elm Grove (3.6 miles) - the neighborhoods in the western part of Buda have the start to a great network of trails. A recently awarded Safe Routes to School grant proposed to build a pedestrian bridge over Garlic Creek, which will connect these neighborhoods (Cullen Country, Garlic Creek, Elm Grove, and Whispering Hollow), and provide access to Elm Grove Elementary School. This master plan recommends continuing the trail along Garlic Creek to connect to the Sportsplex. Constructing trails along the Garlic Creek corridor is one of the highest priority recommendations of this master plan.

Current miles of trails: 14.7 (5.0 miles within city-owned parks; 9.7 miles elsewhere in the City)

Current level of service: 1 mile for every 750 residents

City-parks LOS: 1 mile for every 2,205 residents

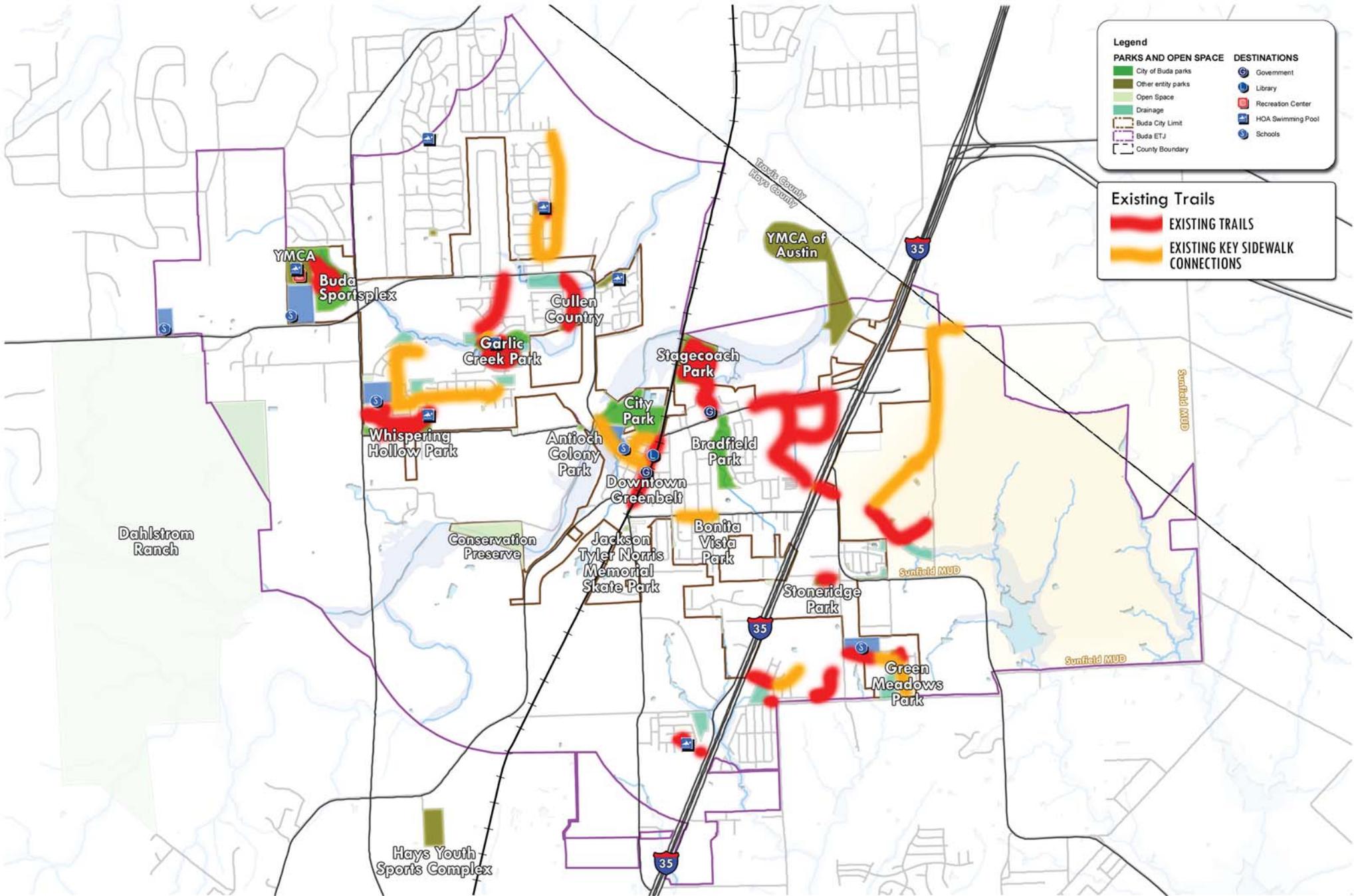
Target level of service: 1 mile for every 1,000 residents

- **Current 2012 need for 11,024 population: 11.0 miles no deficit.**
- **2020 need for 19,912 population: 19.9 miles, deficit of 5.2 miles.**
- **2030 need for 31,690 population: 31.7 miles, deficit of 17 miles.**

TABLE 16 - EXISTING TRAILS IN BUDA

Location	Length (in linear ft)	Location	Length (in linear ft)
Downtown Greenbelt	2,140	Cullen Country	3,945
Garlic Creek Park	2,720	Stonefield HOA Park (ETJ)	2,870
Green Meadows Park	1,185	Meadows at Buda Park (ETJ)	825
Sportsplex	3,510	Sunfield (ETJ)	3,925
Stagecoach Park	9,815	Coves of Cimarron (ETJ)	545
Whispering Hollow Park	3,280	Misc. 6' wide concrete trails (citywide)	36,425





Existing Trails & Sidewalk Connections

Buda Parks, Recreation, Trails and Open Space Master Plan

1 inch = 4,500 feet



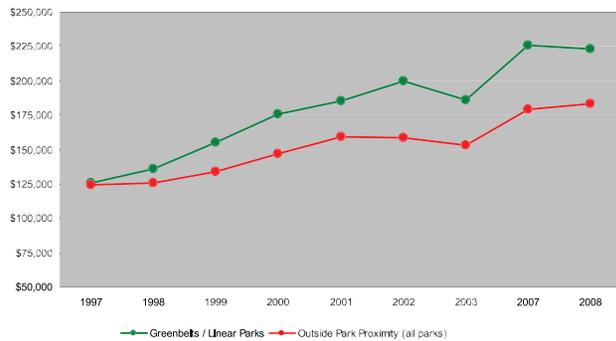
Value Added by Trails

Recent studies from cities across the United States and in Texas illustrate the potential value of trails to homeowner in a community. In a recent study conducted for another Central Texas city, the average value citywide of homes closer than 600 feet from a trail corridor were found to have increased more than 10% over a 10 year period than homes that were farther than 600 feet from a trail corridor. Proximity to attractive walking, exercising and commuting trails is a strong selling point in helping homes sell for a higher amount and in helping neighborhoods retain their value.

Opportunities for trails in Buda are abundant. Opportunities exist along the creek corridors, power lines, utility corridors, neighborhood streets, and around detention pond areas. It is important to note that trail and greenbelt alignments are approximate, and are intended to show general geographic locations for trails. Trail alignments are conceptual and demonstrate a future need for citywide and neighborhood area connectivity. Precise trail alignments and decisions should be made as more detailed planning, design and consultation occurs.

The City's focus should be on the development of the "spine" trail system, connecting all parts of Buda. Other trails linking to the spine system can then be developed by other entities or by private

Property Value Change in Round Rock Proximity to Greenbelts & Linear Parks



development. Both connectivity from a pedestrian and bicycle transportation point of view, as well as the development of potential recreational opportunities, should be considered. The entire proposed trail network is shown in more detail in Appendix B - Trail Plates.

PRIORITY TRAIL RECOMMENDATIONS

The following trail development recommendations summarize the key trail recommendations over the next decade. Trail segment recommendations are shown on the map on the following pages, and are discussed in more detail. These trails are targeted for implementation over the next 10 years, and if implemented, will meet the 2020 target level of service. The recommended trails shown the "spine" network to connect the entire City. It is further recommended that the City adopt a trail ordinance that would require developers to build trails within their property to connect neighborhoods to the spine network, as shown in this Trails Master Plan.

A. Main Street trail (Downtown to Stagecoach Park)

It is recommended that the City construct a trail along Main Street to connect parks, schools, neighborhoods, and businesses creating a pedestrian friendly corridor in the center of town. Specifically, the trail will connect to a sidewalk just east of the Santa Cruz Catholic Church/School running along the north side of Main Street connecting to Historic Stagecoach Park and the Visitors Center, and City Park terminating at San Antonio Street linking up with the downtown trail and a future Safe Routes to School trail. The trail will allow residents living in downtown Buda to walk to Buda's major shopping corridor near Interstate 35 and residents that live in the Bradfield Village subdivision to safely walk to the historic downtown area to shop, dine, go to school, and visit City facilities such as City Hall, Buda Public Library, City Park for special events, and Historic Stagecoach Park and the Visitors Center.



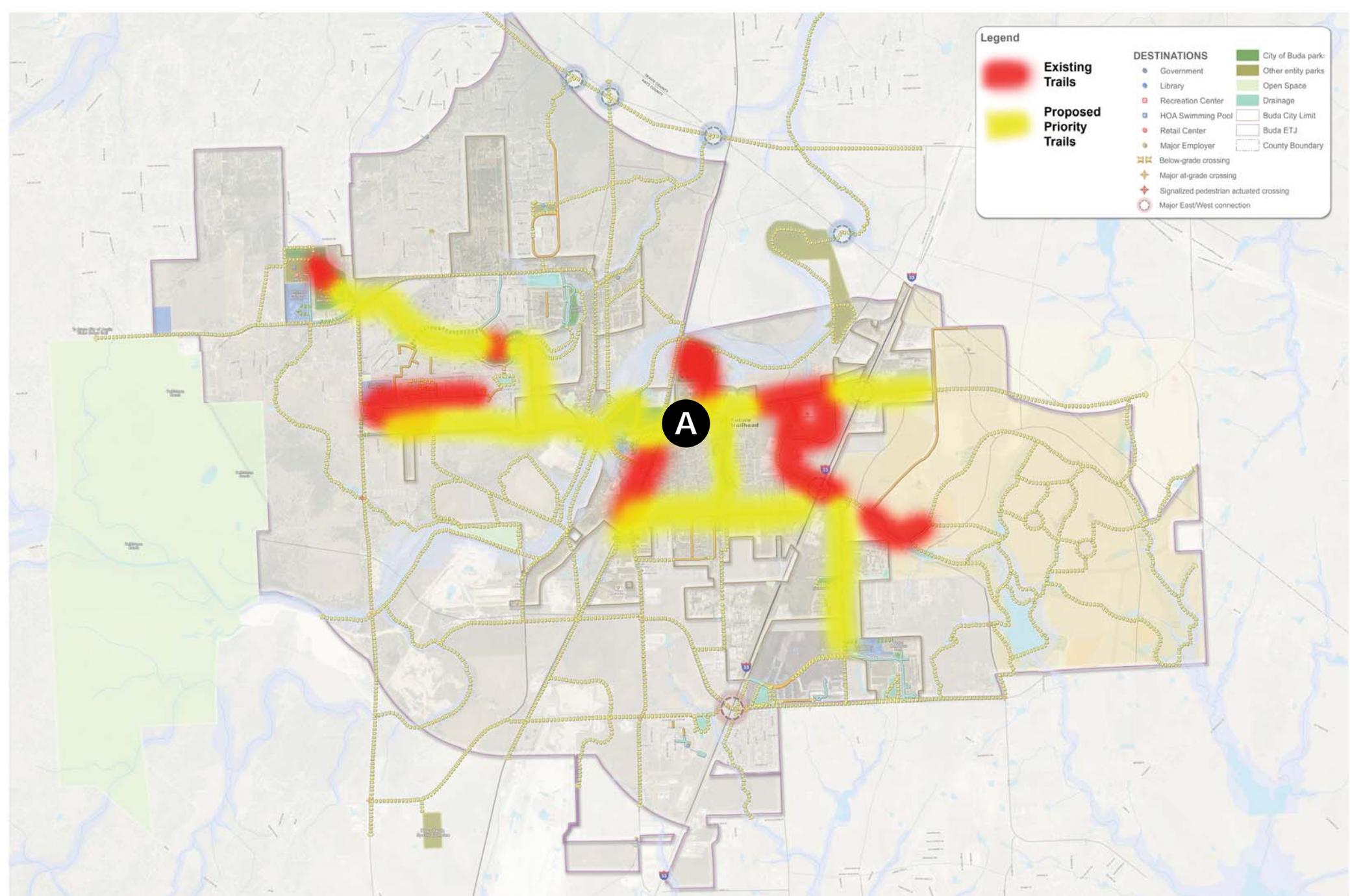
Legend

Existing Trails (Red shaded area)

Proposed Priority Trails (Yellow shaded area)

DESTINATIONS

- Government
- Library
- Recreation Center
- HOA Swimming Pool
- Retail Center
- Major Employer
- Below-grade crossing
- Major at-grade crossing
- Signalized pedestrian actuated crossing
- Major East/West connection
- City of Buda park
- Other entity parks
- Open Space
- Drainage
- Buda City Limit
- Buda ETJ
- County Boundary



Proposed Trail Opportunities
 Buda Parks, Recreation, TrailS and Open Space Master Plan

GRAPHIC SCALE

0 800 1,600 3,200 4,800 6,400 Feet

N



Potential Trail Length - 0.68 miles

Recommended Trail Type - 8 foot concrete

Potential Trail Cost - \$275,000 to \$350,000

Recommended Timeframe for Implementation - Within 1 year

B. Bradfield Park looped trails

Bradfield Park is highly utilized park within the central area of the City. The planned improvements to this park include a looped trail around the 3 ponds and a trailhead with parking off Main Street. This master plan further recommends constructing a trail connecting Bradfield Park to Bonita Vista Park (south of Goforth Road). This will provide a much needed north/south connection in the middle of the City.

Potential Trail Length - 1.3 miles

Recommended Trail Type - 8 foot/crushed granite where feasible and concrete in flood prone areas

Potential Trail Cost - \$500,000 to \$845,000

Recommended Timeframe for Implementation - Within 2 years

Potential Trail Cost - \$390,000 to \$1.3 million

Recommended Timeframe for Implementation - Within 5 years

C. Extend the existing Downtown Greenbelt trail to connect to the Jackson Tyler Norris Memorial Skate Park

The construction of the City's first skate park will be a major destination for the youth in Buda. Extending the existing trail that passes through downtown will provide safe access to the skate park.

Potential Trail Length - 0.18 miles (900 to 1,000 lf)

Recommended Trail Type - 8 foot/concrete

Potential Trail Cost - \$72,000 to \$120,000

Recommended Timeframe for Implementation - Within 1 year

D. City Park looped trails

City Park is one of the most beloved parks in Buda. As part of the overall master plan and renovation of this park to become a festival venue and a community park, looped trails are needed throughout so park visitors can access the entire site including the natural areas along Onion Creek. Construction of some of these trails should take place during Phase 1 of renovation.

Potential Trail Length - 1 to 2 miles

Recommended Trail Type - 8 foot minimum/mix of concrete throughout festival area and crushed granite within the natural creek area (as long as the trail is not located within the floodplain along Onion Creek).

E. FM 2001/Main Street (CR 118 to Stagecoach Park)

There are gaps in the existing sidewalk network along Main Street leading from the east side to City Park. The City currently has plans to extend the sidewalk on the north side of the road, and install a pedestrian bridge over the drainage channel so people can safely access Stagecoach Park. This master plan also recommends extending the sidewalk on the east side of IH-35, connecting to CR 118. This is only one of three east/west connections in the City.

Potential Trail Length - 0.72 miles (not including existing sidewalk)

Recommended Type - 5 foot/concrete (to be consistent with existing sidewalk)

Potential Trail Cost - \$136,800 to \$252,000. The pedestrian bridge can range in cost from \$160,000 to \$940,000.

Recommended Timeframe for Implementation - Within 3 years

Alternative - One alternative would be to widen the entire urban trail path to 8 feet so that it can be used by pedestrians and



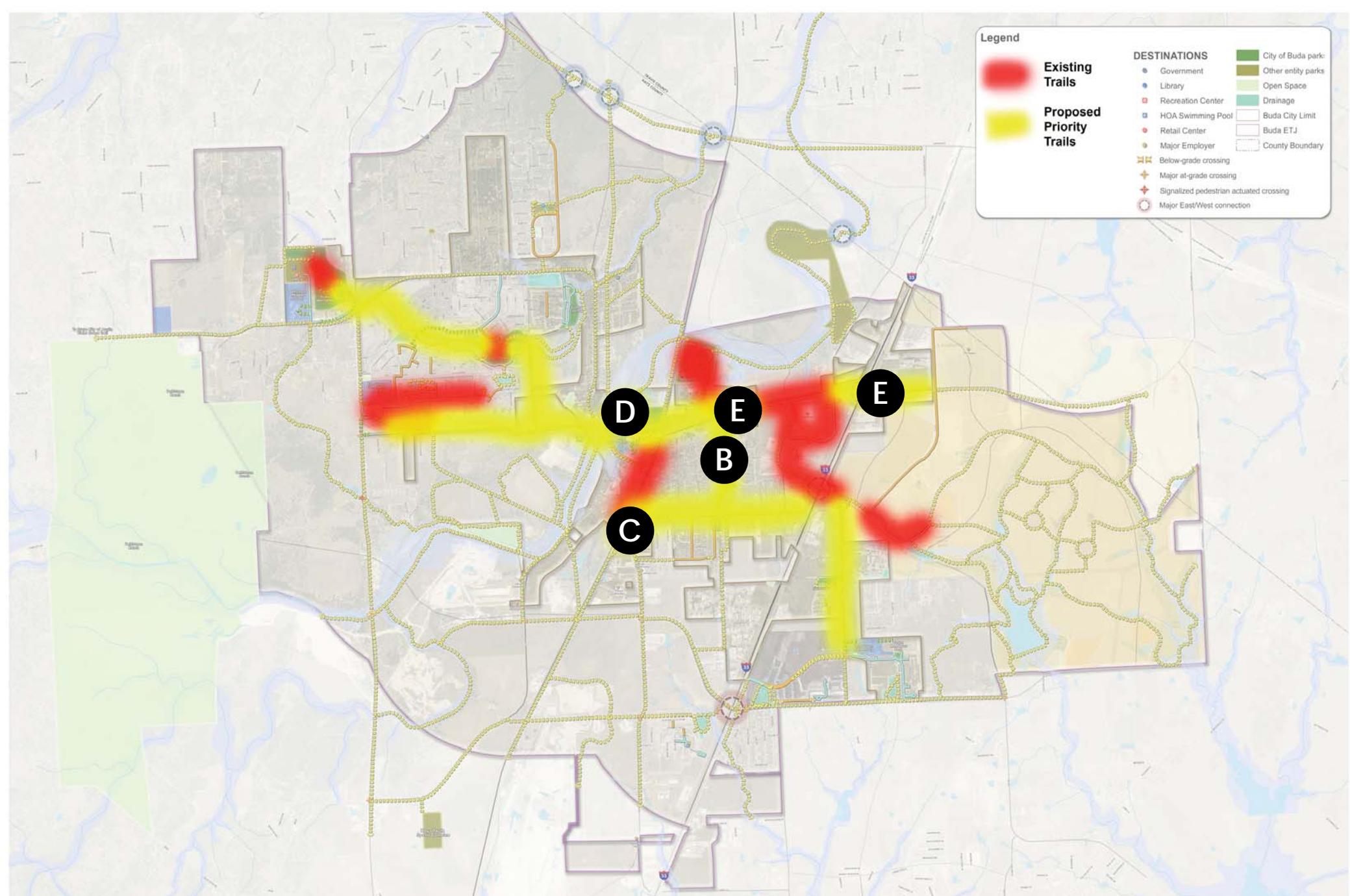
Legend

Existing Trails (Red)

Proposed Priority Trails (Yellow)

DESTINATIONS

- Government
- Library
- Recreation Center
- HOA Swimming Pool
- Retail Center
- Major Employer
- Below-grade crossing
- Major at-grade crossing
- Signalized pedestrian actuated crossing
- Major East/West connection
- City of Buda park
- Other entity parks
- Open Space
- Drainage
- Buda City Limit
- Buda ETJ
- County Boundary



Proposed Trail Opportunities
 Buda Parks, Recreation, TrailS and Open Space Master Plan

GRAPHIC SCALE

0 800 1,600 3,200 4,800 6,400 Feet

North arrow icon



bicyclists. This would be a total length of 1.8 miles with a potential cost of \$720,000 to \$1.2 million plus the cost of the pedestrian bridge.

F. City Park to Garlic Creek

There are several proposed routes to connect City Park to the Garlic Creek corridor. This master plan prioritizes the route with a below-grade crossing under FM 967 at Onion Creek, following Black Colony Road, and up the existing power line easement. While this route might have more private property owners to negotiate with, it is much safer for trail users and does not require an at-grade crossing over FM 967.

Potential Trail Length - 1.2 miles

Recommended Trail Type - 8 foot/concrete

Potential Trail Cost - \$480,000 to \$780,000

Recommended Timeframe for Implementation - Within 5 years

G. Garlic Creek to Sportsplex

The Garlic Creek corridor is one of the premier opportunities for trails in Buda. The recommendation is to continue the existing trails at Garlic Creek Park, along the north side. Once it reaches FM 967, the trail will extend west to the FM 967/FM 1626 intersection so people can safely cross and access the Sportsplex.

Portions of this corridor were also identified as a high priority in the City's Transportation Master Plan Update.

Potential Trail Length - 1.0 miles

Recommended Trail Type - 6 foot/crushed granite (as long as the trail is not located within the floodplain along Garlic Creek). The recommendation along FM 967 is 8 foot/concrete.

Potential Trail Cost - \$210,000 to \$675,000

Recommended Timeframe for Implementation - Within 8 years

H. Old Goforth Road (FM 2001 to Tom Green Elementary)

This is the most significant spine trail to connect the neighborhoods in the east to Cabela's, Downtown and the skate park. The proposed trail will follow the existing power line corridor.

Potential Trail Length - 0.98 miles

Recommended Trail Type - 6 foot/concrete

Potential Trail Cost - \$295,000 to \$470,000

Recommended Timeframe for Implementation - Within 8 years

I. Goforth Road (long-term)

Goforth Road is a direct route between the east side of Buda and the skate park/downtown area. However, because of the deep culverts that exist on both sides of the street, detailed engineering studies would have to be done to construct a trail along this corridor. If, and when, the street is renovated/repaired/widen, serious consideration should be given to an eight-foot wide concrete trail because of the significance this routes plays in the overall trail spine network.

This corridor was also identified as a high priority in the City's Transportation Master Plan Update.

Potential Trail Length - 0.92 miles

Recommended Trail Type - 8 foot/concrete

Potential Trail Cost - \$365,000 to \$600,000

Recommended Timeframe for Implementation - Within 10 years

J. Old Black Colony Road (long-term)

The Buda 2030 Comprehensive Plan proposes that a heritage trail be built along Old Black Colony Road. This corridor will provide direct access from the west side of Buda to Downtown and City Park.



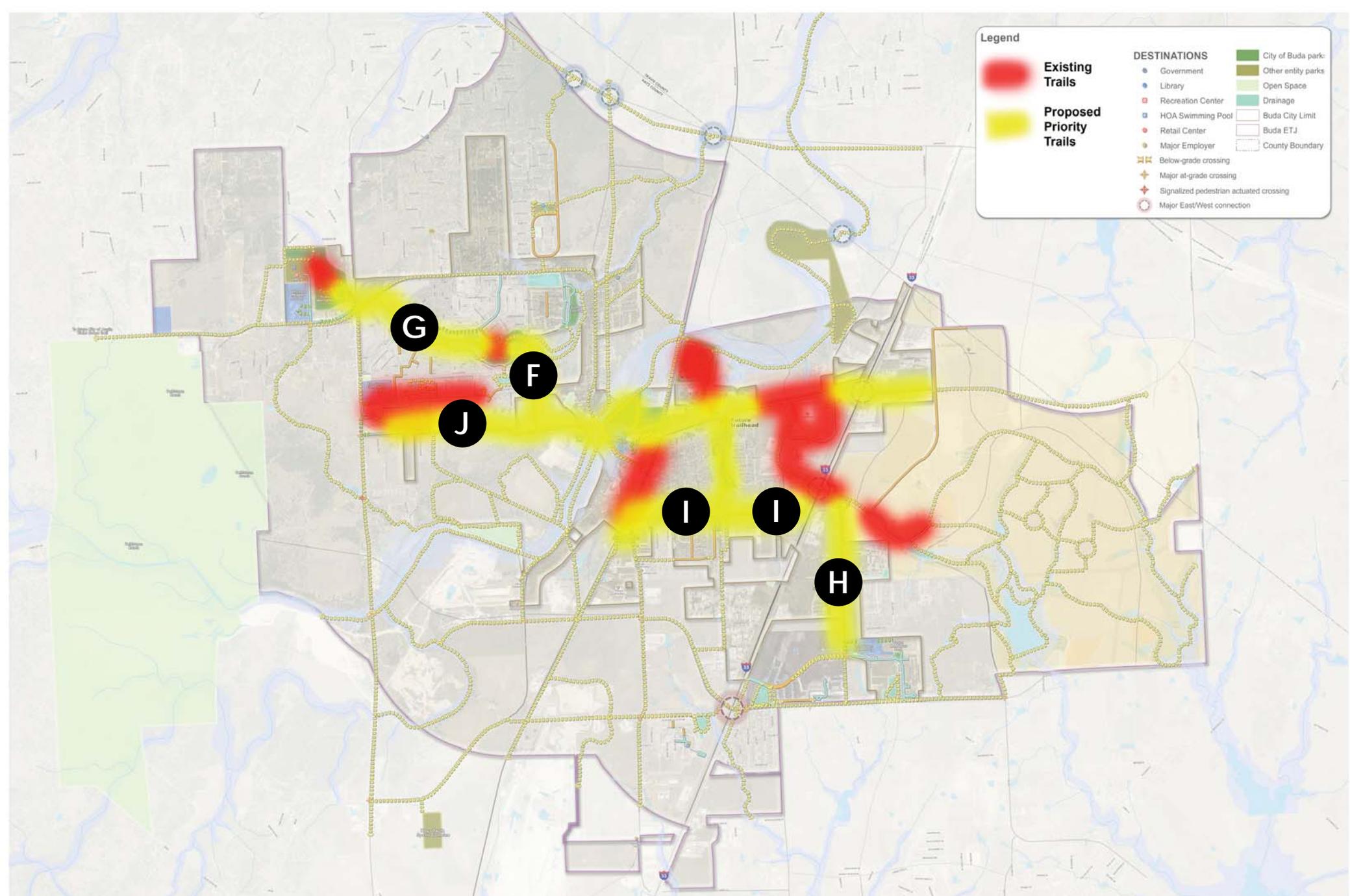
Legend

Existing Trails (Red)

Proposed Priority Trails (Yellow)

DESTINATIONS

- Government
- Library
- Recreation Center
- HOA Swimming Pool
- Retail Center
- Major Employer
- Below-grade crossing
- Major at-grade crossing
- Signalized pedestrian actuated crossing
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Proposed Trail Opportunities
 Buda Parks, Recreation, TrailS and Open Space Master Plan

GRAPHIC SCALE

0 800 1,600 3,200 4,800 6,400 Feet



Potential Trail Length - 0.86 miles

Recommended Trail Type - 8 foot/concrete

Potential Trail Cost - \$345,000 to \$560,000

Recommended Timeframe for Implementation - Within 10 years





CHAPTER 8

a plan for city park



A PLAN FOR CITY PARK

City Park, located near downtown Buda, is the City's "central park" and is to be renovated into a true festival park area in addition to a better every day community park. The recommendations of this chapter in the master plan are meant to guide the redevelopment of City Park in phases over the next 15 years. These recommendations will enhance the park's place as both Buda's signature park facility and as a premier festival area.

Existing Park Features and Uses

Much of the park use is concentrated towards the southern end, and nearly 35 acres of the parkland is unused (including the unimproved parking area). Many of the amenities in the park are older and need repair, specifically the restroom. The park is not ADA accessible, which will be the most important consideration and improvement when renovating the park.



Overflow parking



Open play areas/practice fields



Playground with shade



Dated restroom building



Existing City Park today



Garison Rd. access



Pavilion/covered basketball



Entrance stairs into park



Entry sign



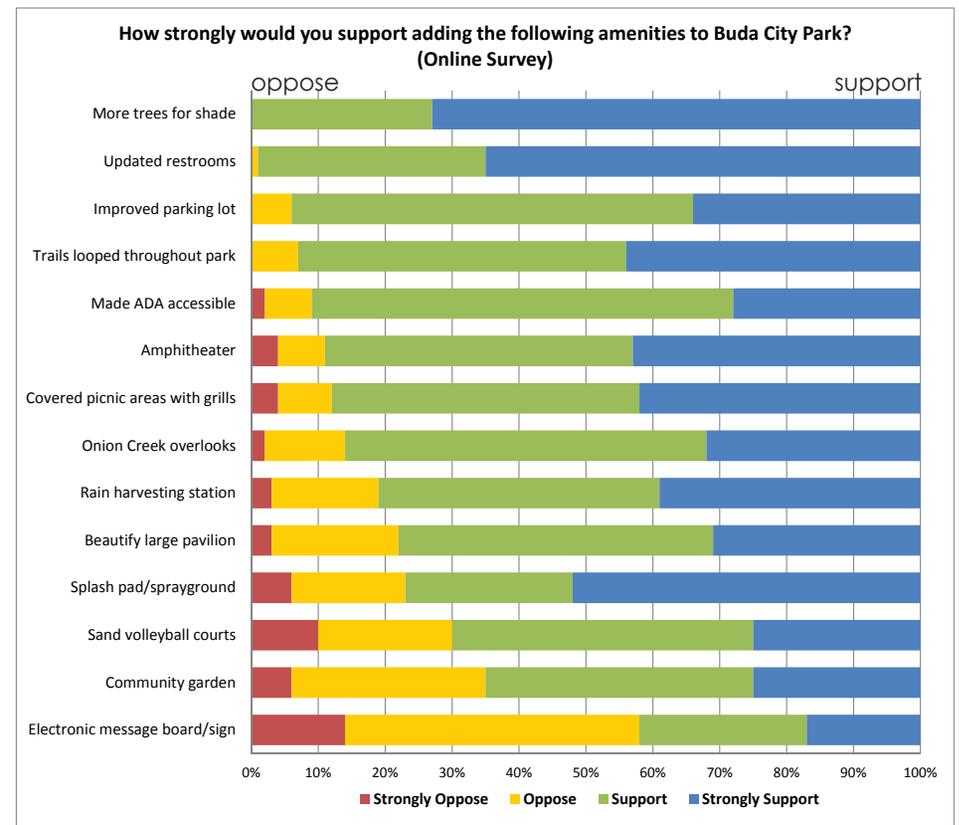
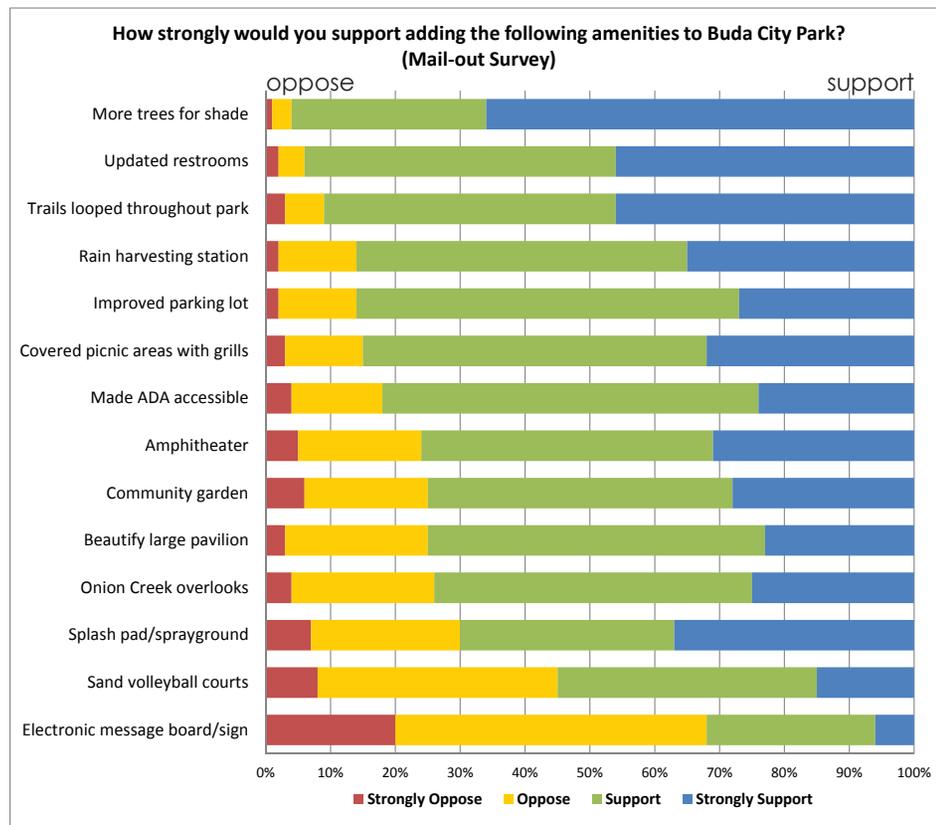
WHAT DO RESIDENTS WANT IN CITY PARK?

During the public input process, specific questions were asked about City Park to determine what types of improvements residents would like to see made. Additionally, focus group meetings were conducted with the festival organizers that use City Park each year to determine their exact needs. Feedback for the City Park concept plan was received from the public at a public input meeting held on August 29, 2012.

Mail-out & Online Survey

Residents were given a list of potential improvements to City Park and asked how strongly they would support adding each

one. The top two responses for both surveys were (1) more trees for shade and (2) updated restrooms. There was a high level of support for each of the potential improvements except one - an electronic message board. Upon further discussion with stakeholders, the residents of Buda felt an electronic message board would take away from the historical feel of City Park and the downtown area. While they liked the idea of an electronic message board, a more appropriate location would be along IH-35, not City Park. **It should also be noted that the most common write-in answer for both surveys was a swimming pool.** 30% of mail-out survey respondents and 44% of online survey respondents wrote that they feel a swimming pool should be added to City Park.



What are the biggest issues affecting City Park?

The mail-out and online survey asked residents what they thought the biggest issue affecting City Park was. The top four responses for both surveys were lack of parking, lack of shade, outdated restroom and traffic from events. More than half of all survey respondents agreed that these were issues affecting City Park and need to be addressed.

Mail-out Survey

1. Lack of parking	60%
2. Lack of shade	59%
3. Traffic from events	51%
4. Outdated restroom	50%
5. Dust	29%
6. No Onion Creek access	19%
7. Not ADA accessible	16%
8. Odor from wastewater treatment plant	15%
9. Nothing there for me	12%
10. Festival music past 10:00 PM	11%

Online Survey

1. Outdated restroom	68%
2. Lack of parking	67%
3. Lack of shade	67%
4. Traffic from events	49%
5. Odor from wastewater treatment plant	26%
6. No Onion Creek access	25%
7. Dust	23%
8. Nothing there for me	13%
9. Not ADA accessible	12%
10. Festival music past 10:00 PM	11%

Festival Groups Stakeholder Workshop

Representatives from five of the festivals that are held at City Park and the Greenbelt each year were invited to a roundtable discussion to address their issues with the park from a festival organizer perspective. They were then invited to a later stakeholder meeting to review the preliminary concept plan. The five festivals that were represented were:

- Buda Fest
- Buda Lion's Club - Wiener Dog Races
- Hill Country Wildflower Festival
- Fire Fest
- Fine Arts Festival

General concerns with the park is that it is currently not set up for large events and festivals. Each event has to put on an entire production every year such as putting up perimeter fencing, setting up a stage, and renting portable restrooms and seating. The park does not currently have adequate infrastructure for festivals such as water or electric. The biggest concern was limited or poor egress and ingress to the park, which creates a safety hazard. Also there is no real emergency access. A summary of the specific needs of each festival can be found in Appendix C - Meeting Notes.

Some events currently held in Buda are looking at other venues because City Park does not meet their needs. However, there are events currently held in surrounding cities that are also looking for a new site. If City Park were to be renovated into a true festival park (in addition to a community park), then Buda could potentially attract more festivals throughout the entire year while still retaining the existing festivals.



The improvements that the festival groups wanted the most were:

- Improve ingress and egress (this was by far the issue they wanted resolved the most)
- Trees/shade and grass to cut down on dust
- Overall beautification of the park
- Expanded/improved parking lot
- Enclose the pavilion for year-round use (either temporary with tents or permanently)
- Multi-purpose building/community center
- Better drainage at the Greenbelt
- Fence the park (or reduce costs incurred by each event)
- Hide/screen city maintenance buildings and wastewater treatment plant
- Provide more restrooms for events (to reduce costs incurred by each event)

Public Meeting Comments Regarding City Park

During the public meeting/open house, residents were also asked what they felt the biggest issue was affecting City Park. Their responses closely reflect the previous input from the surveys. The public meeting attendees rated the top five biggest issues as:

Public Meeting

1. **Traffic from events**
2. **Outdated restroom**
3. **Lack of shade**
4. **Noise from events**
5. **Lack of parking**

Intercept Surveys

On the intercept survey, the last question asked people what they thought should be added to City Park to make it a better festival park. Some of the responses received were:

- More roadways to relieve traffic congestion
- Easier in and out/a "loop" in and out
- Designated parking with a shuttle
- More parking
- Do not charge for the events
- Better/more restroom facilities
- Trees/more landscaping
- Changing stations in the restrooms
- Soccer goals
- Improved/lighted basketball courts
- Stone walkway/walking path/trail
- Splash pad/water feature
- Indoor rodeo arena
- Enclosed pet section/off-leash park
- Permanent stage/amphitheater
- Lighting
- Better water fountains
- Smaller pavilions throughout park
- More benches and picnic tables
- Rain water harvesting station



PLAN AREAS

This plan is divided into four key areas/phases, with more detailed components going into each area.

Area 1: Parking and Amphitheater - This area will include constructing an amphitheater with a covered stage, constructing the park road to improve ingress/egress, and constructing the improved parking lot towards the north. These improvements are recommended to be addressed in Phase 1.

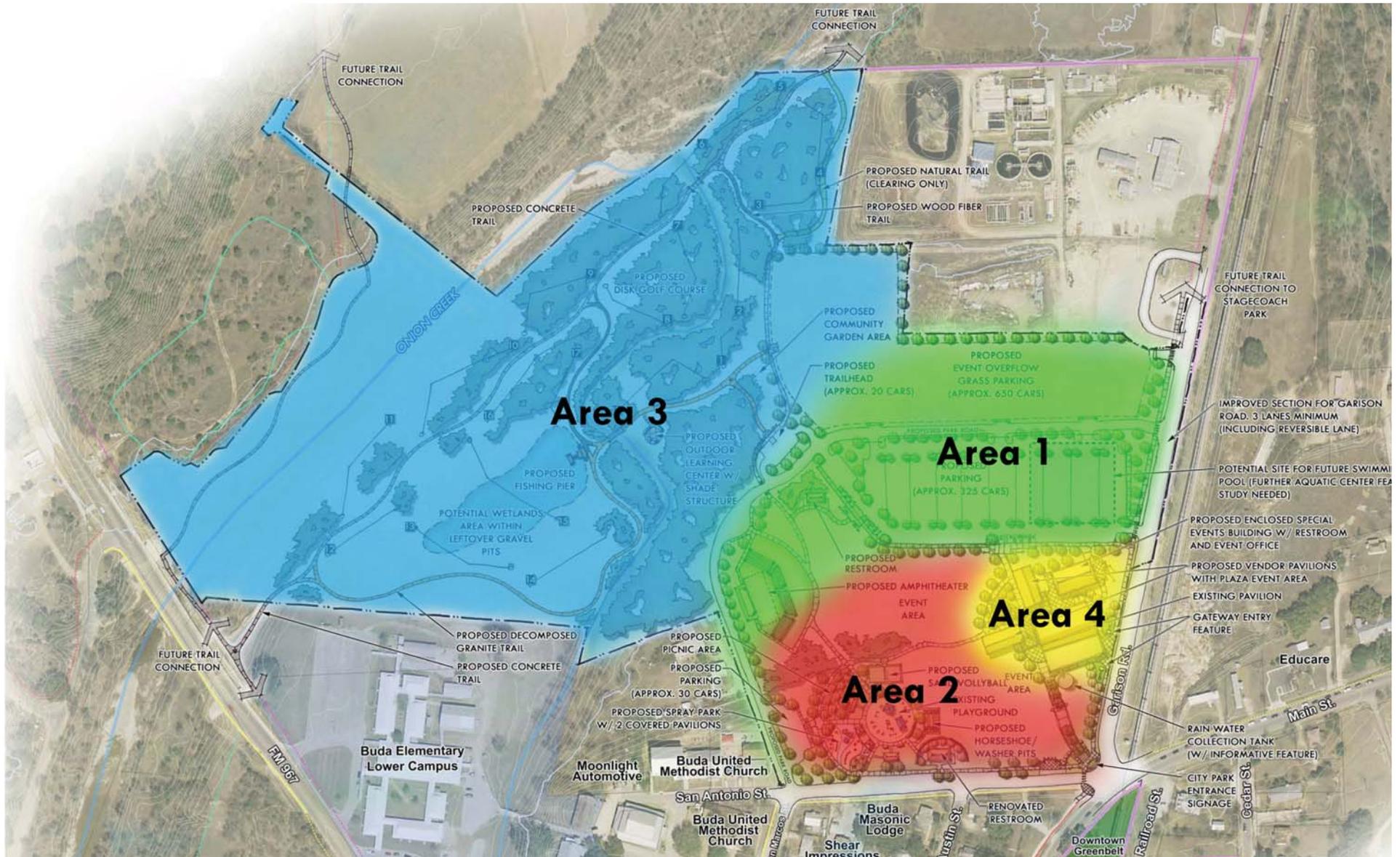
Area 2: Everyday Park Area - This is the area at the south end of the park where most of the existing activity occurs. Improvements will include a sprayground, more picnic areas, renovated restrooms, trails, improved entry features, two additional event pavilions, and cosmetic enhancements to the existing pavilion. These improvements are recommended to be addressed in Phase 2.

Area 3: Nature Area - The final area in the renovation of City Park will include completing the looped trail throughout the park, adding trailheads and Onion Creek overlooks, constructing the smaller improved parking lot, and adding a disc golf course. These improvements are recommended to be addressed in Phase 3.

Area 4: Event Building and Pavilions - This area surrounds the existing large pavilion/covered basketball courts. It includes two additional small pavilions and an enclosed special events building. There is also a proposed plaza to connect the buildings. These improvements are recommended to be addressed in Phase 4.

Renovation and construction of City Park can take place over multiple phases with portions of each area being built in each different phase. The cost projections shown at the end of this chapter are shown in today's dollar, and factor in a 10% contingency.





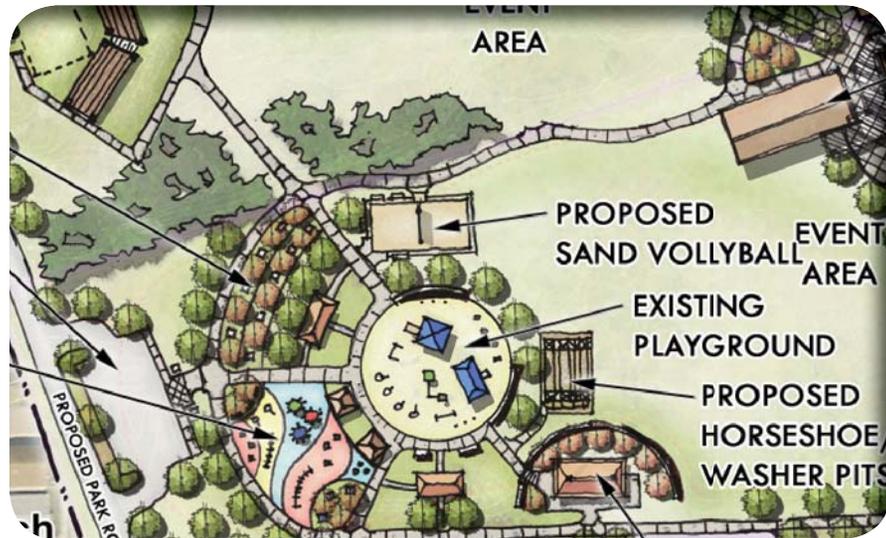
PLAN ELEMENTS

The plan for City Park includes specific site elements for everyday park use as well as transforming the site into a premier festival park. Plan elements are described in detail on the following pages. The development of City Park should incorporate sustainable design practices.

Splash Pad/Sprayground

Splash pads were a highly desired amenity to add during the public input phase. This will be the first splash pad in the City. Around the splash pad and existing playground area will be two small covered pavilions and additional picnicking areas. To the west of this area will be a small parking lot, that can accommodate approximately 15 to 30 cars, for convenient close parking to the everyday park elements.

A potential site for a future swimming pool could be added near the parking lot and pavilion area. However, a more detailed aquatic center feasibility study is needed.



Amphitheater/Stage

The amphitheater area is intended to accommodate 2,000 people on the bleacher seating, and an additional 3,000 to 4,000 people on the grass hill seating behind. Construction of a covered concrete pad site with electric so performances can take place right away is necessary, with the formal amphitheater being constructed in a later phase. There will also be a vehicle pull-in spot off the park road so that the performers have an area to unload and load their equipment.





Event Pavilions

It is recommended that this area of City Park have two additional small event pavilions as well as renovations and aesthetic upgrades made to the existing large pavilion. These pavilions should have a unique look, possibly with stone columns or other upscale enhancements.



Enclosed Special Events Building and Plaza Area

An indoor special events building with a plaza-like area connecting the building and the pavilions is recommended. The indoor special events building is proposed to be a single room, community center-type building to be used during festivals, and year-round can be a rental facility for weddings, family events, reunions, etc. During the week, the building can accommodate city recreational programs such as yoga classes, dance lessons, etc. This will be the first indoor recreational space in Buda. It is proposed to be approximately 4,000 square feet in size; with a restroom and park/event office space recommended inside. A small catering kitchen is also recommended so that the building can better host wedding receptions.

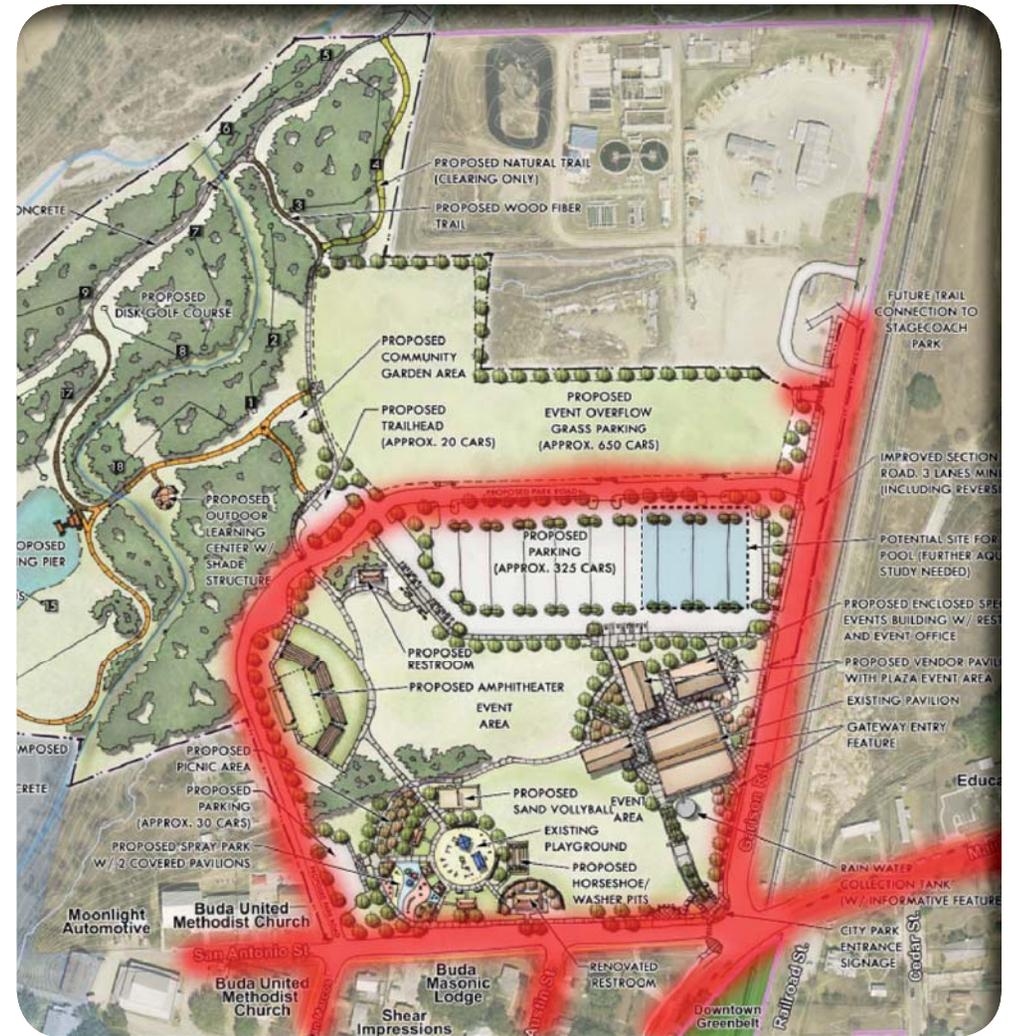


Examples of indoor community center spaces in other Central Texas cities.



Parking and Vehicle Circulation - Improving Ingress/Egress

The biggest concern among festival organizers and residents visiting the park is parking, and being able to get in and out of the park easily and safely. To address this, a park road is proposed to go through the entire park connecting San Antonio Street to Garison Road (roads are shown in red to the right). This will provide in and out access to the park from multiple locations. Paved parking lots will be added throughout the park, and upon completion there will be enough spaces to accommodate approximately 325 cars, with overflow parking which can accommodate an additional 650 +/- cars.



Buda City Park - Overall Concept Plan



TABLE 17 - STATEMENT OF PROBABLE CONSTRUCTION COSTS

Item No.	Item Description	Unit	Quantity	Potential Item Cost	Project Total
1	Main Entry Area	LS	1.0	\$112,375.00	
2	Playground Area Improvements	LS	1.0	\$500,500.00	
3	Spray Park	LS	1.0	\$500,000.00	
4	Event Area Landscape and Irrigation	LS	1.0	\$174,400.00	
5	Existing Pavilion Improvements	LS	1.0	\$155,000.00	
6	Event Plaza Area	LS	1.0	\$556,400.00	
7	Amphitheater Area (includes restroom)	LS	1.0	\$462,400.00	
8	Natural Area	LS	1.0	\$496,925.00	
9	Event Asphalt Parking (+/- 325 spaces)	LS	1.0	\$506,000.00	
10	Overflow Grass Parking (+/- 650 spaces)	LS	1.0	\$193,008.00	
11	Parking (Playground Area +/- 30 spaces)	LS	1.0	\$35,250.00	
12	Parking (Trailhead +/- 20 spaces)	LS	1.0	\$27,000.00	
13	Park Road (24' wide)	LS	1.0	\$197,500.00	
Subtotal Construction Cost for City Park Improvements					\$3,916,758.00
Contingency Allowance - Estimated (10%)					\$391,675.80
Allowance for Geotechnical report - Estimated					\$7,500.00
Allowance for Survey - Estimated (2%)					\$78,335.16
Allowance for Review, Permits if needed (0.5%)					\$19,583.79
Allowance for Design, Structural, Landscape, Graphics & Engineering Services (10-12%)					\$391,675.80
Allowance for Project Administration by City or Engineer if needed (2%)					\$78,335.16
Estimated Project Cost (City of Buda Public Works were assumed to construct park road and parking facilities - Items 9-13)					\$4,883,863.71
LS = Lump Sum SF = Square Feet EA = Each CY = Cubic Yard SY = Square Yard					
Notes: 1. This is a preliminary statement of probable construction cost at a concept development stage. Costs shown will vary as additional design detail is developed. 2 - In providing opinions of probable construction cost, the Client understands that the Design Professional has no control over costs or the price of labor, equipment, or materials, or over the Contractor's method of pricing, and that the opinions of probable construction costs provided herein are to be made on the basis of the Design Professional's qualifications and experience. The Design Professional makes no warrant, expressed or implied, as to the accuracy of such opinions as compared to bid or actual costs.					



TABLE 18 - STATEMENT OF PROBABLE CONSTRUCTION COSTS

Item No.	Item Description	Unit	Quantity	Potential Item Cost	Project Total
1	Special Events Building (4,000 sf) dimensions are approximate (\$125.00 sf +/-)	SF	4,000.00	\$500,000.00	
2	Special Event Building Plaza Paving	SY	90.0	\$9,000.00	
Subtotal Construction for Special Events Building					\$509,000.00
Contingency Allowance - Estimated (10%)					\$50,900.00
Allowance for Geotechnical report - Estimated					\$7,500.00
Allowance for Survey - Estimated (2%)					\$10,180.00
Allowance for Review, Permits if needed (0.5%)					\$2,545.00
Allowance for Design, Structural, Landscape, Graphics & Engineering Services (10-12%)					\$50,900.00
Allowance for Project Administration by City or Engineer if needed (2%)					\$10,180.00
Estimated Project Cost					\$641,205.00
LS = Lump Sum SF = Square Feet EA = Each CY = Cubic Yard SY = Square Yard					
Notes: 1. This is a preliminary statement of probable construction cost at a concept development stage. Costs shown will vary as additional design detail is developed. 2. In providing opinions of probable construction cost, the Client understands that the Design Professional has no control over costs or the price of labor, equipment, or materials, or over the Contractor's method of pricing, and that the opinions of probable construction costs provided herein are to be made on the basis of the Design Professional's qualifications and experience. The Design Professional makes no warrant, expressed or implied, as to the accuracy of such opinions as compared to bid or actual costs.					





CHAPTER 9

plan implementation



IMPLEMENTATION INTRODUCTION

The park and recreation needs of Buda are described in the previous chapters of this master plan. This chapter recommends a series of actions to begin addressing those needs. These actions are recommendations to guide the Buda Parks and Recreation Department staff, Parks and Recreation Commission, and the City Council over the next five to ten years, and should be revisited and updated on a regular basis.

Prioritization Criteria - The recommended prioritization is based on information received from public input, as well as from the needs assessment formed from facility and acreage standards. The criteria used to prioritize the park facility needs of Buda are as follows:

- Level of need based on citizen input
- Level of need based on level of service-based needs assessment
- Conditional assessment of existing park facilities in the City

Table 19 summarizes the key priority needs. Needs meeting all of the criteria were ranked as very high priority elements and are to receive the highest level of attention over the next five to ten years. The top actions to be undertaken over the next ten years that the City of Buda should accomplish are on the following page (in general order of highest priority):

TABLE 19 - SUMMARY OF PRIORITY NEEDS IN BUDA

<p>Additional facilities needed based on mail-out survey</p> <ol style="list-style-type: none"> 1. Trails 2. Swimming pool 3. More trees/shade 4. Splash pads 5. Preserved open space 	<p>Additional facilities needed based on online survey</p> <ol style="list-style-type: none"> 1. Trails 2. Swimming pool 3. Shade structures over playgrounds 4. Preserved open space 5. More trees/shade
<p>Additional facilities needed based on level of service</p> <ol style="list-style-type: none"> 1. Splash pads/spraygrounds 2. Trails 3. Backstops/practice fields 4. Off-leash park 5. Amphitheater 	<p>Additional facilities needed based on existing condition</p> <ol style="list-style-type: none"> 1. Shade structures over playgrounds 2. Trails 3. Landscaping/trees/beautification 4. Practice baseball/softball fields 5. Practice soccer fields
<p>Top 11 Cumulative Outdoor Facility Needs Based on Above Summaries</p> <ol style="list-style-type: none"> 1. Trails 2. Shade structures over playgrounds and trees 3. Aquatic facilities - splash pads/spraygrounds/swimming pools 4. Preserved open space and natural areas 5. Picnic pavilions 6. Amphitheater 7. Off-leash park(s) 8. Backstops/practice baseball/softball fields 9. Disc golf course 10. Sand volleyball courts 11. Practice soccer fields 	
<p>Top 3 Cumulative Indoor Facility Needs Based on Above Summaries</p> <ol style="list-style-type: none"> 1. Enclosed special events building 2. Multipurpose classrooms for programming 3. Rental facilities for family events 	



ACTION PLAN

The Action Plan is the basic actions and tasks required in order for the City of Buda to reach the target goals for the parks and recreation system. It maps out the immediate tasks at hand. Consider the following notes when reviewing the Action Plan:

- **Sequence** - The sequence is based directly on the recommended importance and need for each action. However, some actions may take longer to occur. In that case, other actions may be easier to accomplish sooner, but should not diminish the need for higher priority actions.
- **Funding possibilities** - The sale of certificates of obligation may generate funding, such as a Quality of Life Bond. The Action Plan is a guide, but may vary as specific needs or opportunities occur within the City. Other potential funding sources are noted in the table, but are not secured. Rather, they should be considered as possibilities to also pursue.

- **Projected costs** - The projected costs per item are intended to establish an order of magnitude cost range. These estimates are made prior to any designs or detailed concepts being developed, and will vary as more detailed design occurs. Costs that are shown are also pre-design, and are based on staff and consultant experience with similar types of facilities and efforts. All costs include an escalation factor, assumed to be in the range of 3% per year.
- **Suggested timeframe** - The suggested time frames are approximate and are intended to establish a sequence for all actions. The timeframe of each recommended priority is based on **High Priority** (within the next five years), **Medium Priority** (within five to ten years) or **Long Term** (within ten years and beyond). Note that the prioritization in this master plan is intended to guide staff, Parks and Recreation Commission, and City Council, and any item may be initiated sooner than recommended if unique circumstances or opportunities arise.

TABLE 20 - ACTION PLAN

Priority	Action	City Sector	Estimated Cost		Funding Sources	Additional Staff Needs	Time Frame
			Low	High			
High Priorities							
1	Bradfield Park improvements	C	\$650,000	\$1.2 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 1 year
2	City Park improvements Phase 1 (amphitheater, parking, park road)	Citywide	\$1.0 M	\$1.5 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 2 years
3	Trail Development - Main Street trail (Downtown to Stagecoach Park)	C	\$275,000	\$350,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 1 year
4	Trail Development - Greenbelt to Jackson Tyler Norris Memorial Skate Park	Citywide	\$72,000	\$120,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 1 year
5	Shade structures over existing playgrounds	Citywide	\$30,000 each	\$50,000 each	Bonds, private donations, in-kind services, certificates of obligation, general fund, park development fees	none	Min. 1 per year



TABLE 20 - ACTION PLAN (CONTINUED)

Priority	Action	City Sector	Estimated Cost		Funding Sources	Additional Staff Needs	Time Frame
			Low	High			
High Priorities continued							
6	Trail Development - FM 2001/ Main Street	C/E	\$720,000	\$1.2 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 3 years
7	Whispering Hollow Park improvements/off-leash park	W/ Citywide	\$20,000	\$100,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	1	Within 5 years
8	Stagecoach amphitheater improvements/ beautification	C/ Citywide	\$30,000	\$50,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 5 years
SUBTOTAL HIGH PRIORITIES			\$2.74 M	\$4.57 M		1	
Medium Priorities							
9	City Park improvements Phase 2 (everyday park area)	Citywide	\$1.0 M	\$2.0 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 5 years
10	Trail Development - City Park to Garlic Creek	W/C	\$480,000	\$780,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 5 years
11	Acquire land for east side community park (20 to 50+ acres)	E	\$500,000	\$3.75 M	Bonds, private donations, in-kind services, certificates of obligation, general fund, park development fees	1	Within 8 years
12	Second splash pad on west side	W	\$425,000	\$600,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 5 years
13	Trail Development - Garlic Creek to Sportsplex	W	\$210,000	\$675,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 8 years
14	Aquatic Center Feasibility Study	Citywide	\$30,000	\$50,000	Bonds, private donations, in-kind services, certificates of obligation, general fund	none	Within 10 years
SUBTOTAL MEDIUM PRIORITIES			\$2.64 M	\$7.85 M		1	



TABLE 20 - ACTION PLAN (CONTINUED)

Priority	Action	City Sector	Estimated Cost		Funding Sources	Additional Staff Needs	Time Frame
			Low	High			
Long-Term Priorities							
15	Final phase of Sportsplex	Citywide	\$2.2 M	\$3.1 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	1	Within 10 years
16	Second off-leash park on east side	E	\$15,000	\$35,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 10 years
17	City Park Phase 3 (nature area)	Citywide	\$500,000	\$1.0 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	2	Within 10 years
18	Trail Development - Old Goforth Road	E	\$295,000	\$470,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 8 years
19	Third splash pad on east side	E	\$450,000	\$600,00	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 7 years
20	Trail Development - Goforth Road	C	\$365,000	\$600,00	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 10 years
21	City Park Phase 4 (event building and pavilion improvements)	Citywide	\$1.0 M	\$2.0 M	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 10 years
22	Trail Development - Old Black Colony Road	W	\$345,000	\$560,000	Bonds, private donations, in-kind services, TPWD grant funding, certificates of obligation, general fund, park development fees	none	Within 10 years
SUBTOTAL LONG-TERM PRIORITIES			\$5.17 M	\$8.36 M		3	

1. Costs and maintenance personnel estimates shown are order of magnitude estimates prior to any concept or design, and will vary as site selection and more detailed design occurs. List is for guidance in planning, and not all items may be implemented. Grants, partner participation and donations may fund portions of the amounts shown and reduce the cost of each item.
 2. Land costs are general estimates intended to establish allowances and will vary. Land costs are estimated to be between \$25,000 and \$75,000 per acre.
 3. Cost include an annual 3% escalation factor. All costs shown are rounded to nearest \$50,000. Costs should be updated frequently as additional cost information becomes available.



FUNDING STRATEGIES

Different parks and recreation facilities will require different funding strategies. While small improvements to existing parks and most trails can be built with local funds, other parks, open spaces and large facility projects may be able to contend for federal or state funds. This section provides brief descriptions of these funding implementation assistance opportunities.

Key City Generated Funding Sources

General Fund Expenditures - General fund expenditures are primarily used for operations and minor improvements.

Parks Capital Fund - Large capital improvements to existing parks and facilities are frequently not included in the year to year budget. The Parks Capital Fund covers anticipated general park improvements.

Municipal Development District (MDD) - Sales tax revenue is used to fund a variety of infrastructure needs throughout many cities in Texas. Allocations in future years may be used to address needs identified in this parks master plan.

TIRZ Districts - Establishing a TIRZ district allows for the property tax revenue generated in that district to be used to fund public improvements. If feasible, explore the use of TIRZ funds to address needs identified in this master plan.

Voter Approved Bond Funds - When feasible, a voter approved bond program to support park and facility development within the next five to ten years should be considered, such as Quality of Life Bond.

Park Facility Funding Through a Parkland Dedication and Parkland Development Ordinance - This ordinance provides some lands and/or funding for the development of neighborhood parks throughout the City in new residential developments. These types of ordinances are discussed further in the Ordinance Section of this Chapter.

Economic Development Corporation - The EDC can authorize expenditures, at its discretion, related to the City of Buda's request to fund Sportsplex maintenance/improvements, Trail of Lights, and beautification/enhancement of the Stagecoach Park amphitheater for weddings.

Sales Tax Revenue - Sales tax revenue from the city's 4B fund can be used for community facilities such as parks, trails and recreation buildings, subject to approval by voting by the citizens of Buda. While each project or group of projects would have to be approved by citizen vote, this option should be considered for projects with significant community-wide benefit. Recreational features with significant impact on quality of life will make Buda a much more attractive and economically viable location to live, work and play.

Key Grant Funding Sources

Grants can provide a significant source of additional funding for parks, but should not be considered as the primary source for park construction.

Texas Parks and Wildlife Department - Texas Recreation and Parks Account (TRPA) is the primary source for parks grants in Texas, and in addition provides funding for recreational trails. Up to a 50 percent match can be obtained, up to \$500,000 for new parks and trail facilities. Grant applications that stress joint funding and support from two or more local entities may have a greater chance of contending for the TRPA grants. These grants are highly competitive, and in recent years there have been far fewer grants available or awarded due to State budget restrictions. When the grants are available, the typical deadline to submit an application is March 1st and August 1st every year.

Land and Water Conservation Fund (LWCF) - This fund is divided into two funding categories: state grants and federal acquisition. The state grants are distributed to all 50 states, DC, and other territories based on factors such as population. State grant funds can be used for park development and for acquisition of parkland or easements.



Urban Park and Recreation Recovery Act (UPARR) - Funding for UPARR is currently not available. Typically this funding source has supported traditional parks rather than linear parks.

Statewide Transportation Enhancement Program - This program provides monetary support for transportation activities designed to strengthen the cultural, aesthetic and environmental aspects of the transportation system. Typically, funds can be used for trails and streetscape related projects. Funding is on a cost reimbursement basis, and projects selected are eligible for reimbursement of up to 80% of allowable costs. This funding program is not available on a yearly basis, but intermittently only, often in two to five year periods. The next opportunity for funding under this program is unknown at this time, but should be evaluated periodically. These funds, while difficult to work with, are becoming more responsible to real world costs, and should be seriously considered since they remain one of the few sources of outside funds.

Indoor Recreation Grants – These grants are available to local governments for the construction or renovation of indoor recreation facilities. This assistance is in the form of 50% matching grant funds up to \$750,000. Local governments must apply, permanently dedicate the building for public recreational use and assume responsibility for operation and maintenance. Application deadlines are July 31st each year. Awards are distributed in January each year. Funding amounts may be limited over the next few years.

LCRA Grants - The Lower Colorado River Authority (LCRA) has a grant program to help “local governments and nonprofit organizations fund capital improvement projects to benefit the public.” The grants are awarded to projects that emphasize energy efficiency, water conservation, household hazardous waste facilities, or volunteer fire departments. The maximum grant is \$25,000 and any application requesting over \$5,000 must have at least 20% in matching funds.

Recreational Trails Program (RTP) – These funds can be spent to construct new recreational trails, improve/maintain existing trails, develop/improve trailheads or trail side facilities, and acquire trail corridors/easements. It is a cost reimbursement program. Projects may range in total cost between \$5,000 and \$100,000.

Environmental Protection Agency – The EPA can provide funding for projects with money collected in pollution settlements, or with funding targeted at wetland and habitat preservation or reclamation.

Foundation and Company Grants – These can assist in direct funding for projects, while others exist to help citizen efforts get established with small seed funds or technical and publicity assistance. Pedernales Electric Cooperative Community Grants is one example of this. They provide grants to non-profit organizations up to \$1,000 for life-saving, conservation and educational projects or equipment.

Grants for Greenways – This is a national listing that provides descriptions of a broad spectrum of both general and specific groups who provide technical and financial support for greenway interests.

Sidewalk Funding Sources – These sources currently construct sidewalks in existing areas through citywide bond programs and with new developments through subdivision regulations.

Partnering with Volunteer Groups – Partnering with volunteer groups can be helpful when constructing trails or playground equipment. Their effort can be used as part of the required match for many grants such as the Recreational Trails program. There are a variety of sources for volunteers including user groups, local residents, corporate community service initiatives, and business and civic support groups. Consider and pursue a partnership with Cabela’s to teach youth about nature.

Parks Foundation - Parks foundations are non-profit organizations and another source for volunteers. People can make tax



deductible donations to the foundation, which in turn provides financial support and volunteer time to a city's parks system. Parks foundations often assist with physical improvements to a park or support recreational programming. They essentially help fill the gap between what needs to be done and what a parks department can afford to do.

POLICIES AND ORDINANCES

Parkland Dedication Ordinance - Buda currently has a Parkland Dedication and Park Development Ordinance to assist in the implementation of neighborhood parks in new areas of the City. This type of ordinance is used by many cities, and is now generally not considered onerous by the development community, but rather is welcomed as a method to help fund smaller parks in a timely manner. The City's Parkland Dedication ordinance provides an important mechanism to ensure that adequate parkland is available when new development occurs. The current ordinance is clear and concise in its language, and is easy to follow and understand. Based on current trends in comparable cities throughout Central Texas, the following refinements are recommended.

The current language for parkland to be dedicated is on the high end when compared to other Central Texas cities. Buda currently requires 1 acre per 50 dwelling units, while the average is approximately 1 acre per 100 dwelling units. It is recommended that the current ratio remain as it reads now, and be reviewed in future as needed.

The cash in lieu fee is currently set high when compared to other cities. However, Buda is not the highest. It is recommended that the cash in lieu fee be increased to \$600 per dwelling unit to keep up with current cost of construction.

Buda is one of only a handful of cities that also require a park development fee. While Buda has the foresight to see the importance of this fee, the current way of calculating the fee is

dated. It is recommended that this fee be calculated as a per dwelling unit cost similar to the other cities with this fee. The fee should be set at \$800 per dwelling unit.

Finally, it is recommended that the ordinance be amended in two ways. (1) Developers are required to have non-privacy fencing (wrought iron or similar) on all future residential developments that are adjacent to a park property or open space property. (2) Before accepting any donations required by the ordinance, the City of Buda, not the developer, decides where the parkland is to be located based on topography, natural features, trees, etc.

A comparison of parkland dedication ordinances for Central Texas cities is summarized in Table 21 on the following page.

Landscaping Ordinance - Establishing a landscaping ordinance in Buda can contribute to the beautification efforts throughout the City.

Trail Development Ordinance - A trail development ordinance is usually a component of a Parkland Dedication Ordinance. Similar ordinances have been enacted in other cities in Texas, and have proven successful in helping to get trails constructed. Often the city will fund regional trails and trailhead development, then require complete developer construction of key trail segments that fall within their property limits. Credits for landscaping, pavement, or other infrastructure elements could be given in return for trail construction outside of the Trails Master Plan. A central point to consider is that most developments will add trails automatically; therefore, such a mandatory trail development ordinance only serves to create a level playing field between the many developments that include trails and those that will build them only if required to do so.

The current ordinance does not account for trail dedication, although the City can legally require this dedication and construction as a part of the transportation system. This is particularly true if just requiring the trails be located in a pedestrian



Table 21 - Parkland Dedication Ordinance Comparisons

City	Parkland to be dedicated	Cash in Lieu	Park Development Fee	Minimum Size of Park Accepted	Additional Ordinances
Buda	1 acre per 50 dwelling units	\$500 per dwelling unit	\$30,000 per acre of park land that is required to be dedicated.	If dedication is less than 5 acres, then subdivider shall be required to pay fee-in-lieu.	
Bastrop	1 acre for every 100 lots or 5% of the total residential platted area (excluding streets), whichever is greater.	\$250 per dwelling unit	None	If dedication is less than 3 acres, then developer may be required to pay the applicable cash payment.	Greenways/Trail System (Linear Park) Ordinance
Dripping Springs	1 acre per 25 LUEs for both residential and nonresidential developments.	An amount equal to the value of the amount of parkland acreage corresponding to the anticipated LUEs.	None		
Fredericksburg	1 acre for each 133 proposed dwelling units.	\$200 per dwelling unit	\$300 per dwelling unit.	If dedication is less than 5 acres, then may require developer to pay the applicable cash in lieu.	
Hutto	1 acre for each 50 new dwelling units.	Payment based on the fair market value of the land proposed to be subdivided.	None		
Kyle	1 acre for each 75 proposed dwelling units, and the dedication by fee or easment of land for hike and bike trails.	\$600 per dwelling unit	\$600 per dwelling unit.	An area smaller than 5 acres for public park purposes is impractical.	
Lakeway	1 acre for every 100 new dwelling units.	\$500 per dwelling unit	None	At least 3 acres in size.	Landscaping Ordinance
Lockhart	Subdivision 5 to 20 acres = 5% of total land area zoned; over 20 acres = 8% of total land area zoned.	Subdivision 1 to 20 acres = 5% of the market value of land area zoned; over 20 acres = 8% of market value of land area that is zoned.	None		
Marble Falls	<i>*note, full ordinance is not available online.</i>				Protection of drainage and creek areas
San Marcos	5 acres per 1,000 ultimate residents of the subdivision (calculated 2.7 residents per single-family dwelling; 2.5 residents per townhouse, duplex, condominium; 2.1 residents per multifamily residential unit).	Set by resolution of the City Council.	None		
Wimberley	The city shall develop regulations establishing the basis for measuring the amount of the dedication.	Fee shall be in an amount roughly proportional to the impact on park services necessitated by the subdivision. Formula shall be established by City Council.	None		



access easement rather than as a full right-of-way taking. As part of the ordinance, the City should require a 12 foot minimum pedestrian access easement for trail whereby runners and walkers can utilize the grass on either side of the trail. Both the Comprehensive Plan and Parks & Trails Master Plan surveys indicated very strong support for parks & trails development. The Transportation Plan surveys also supported trails.

Joint Planning with Hays CISD - Establish joint planning review sessions with Hays CISD schools to allow for coordination of facilities and possible pooling of resources for partnership in acquiring land for schools and parks.

OPERATIONS AND MAINTENANCE

With the recommendations of additional parks, recreation facilities and trails, it should be recognized that additional manpower is needed for the required maintenance of these various projects. The number of additional staff needed to attend to these proposed facilities will vary depending on the use of these facilities. The provision of adequate staffing must be included as each facility is developed or the facility should not be built.

As the park system grows, additional maintenance resources should be provided to the Parks and Recreation Department. This includes new mowing and transporting equipment, as well as park maintenance staff. Over the next ten years, as new facilities are added, park maintenance staff should grow at the same rate.

Sustainability Approach to Maintenance

Often parks and recreation agencies are the single largest landowner in a city or community. As such, stewardship of the community's natural resources and recreation amenities is a key parks department responsibility, all the while managing the conscientious expenditure of tax dollars. According to the National Recreation and Park Association (NRPA), "Good stewardship requires management practices that protect and enhance the recreational, environmental, social and cultural

values of public lands and natural and cultural resources in a manner that is cost-effective and sustainable for future generations."

The role of the Buda Parks and Recreation Department in the conservation of natural and recreation resources, while implementing "Sustainability" in its approach to resource management, not only contributes to the health and welfare of its residents, it also reduces operations and maintenance costs, particularly for mowing and irrigation.

The "Sustainability" approach to natural resource management is not only an environmentally sensitive management strategy; it is "Good Business" for the City and its residents.

What is Sustainability? - Sustainability can be defined as the ability to meet the needs of the present without compromising the ability of future generations to meet their own needs. Basically, sustainability embraces a stewardship approach that conserves our natural resources for use by future generations. These natural resources include:

- Clean water
- Clean air
- Nutrient rich topsoil
- Wildlife habitat
- Trees and vegetation
- Harnessing of wind and solar energy to reduce the use of fossil fuels.

The Buda Parks and Recreation Department is responsible for the care and maintenance of approximately 268 acres, throughout the City in 14 locations. To provide the highest level of park and recreation facilities and amenities, while maintaining these facilities in the most cost-effective manner, the Parks and Recreation Department will implement a "Sustainability" based approach to park development and maintenance. This approach



includes:

- Planting native tree and grass species that are water conserving and hardy to the Central Texas climate. This approach will encourage the “greening” of parks, while limiting the amount of long-term maintenance required to achieve attractive facilities.
- Developing active areas in parks and greenways that will be maintained to levels dictated by the intended use. For example, high intensity use areas such as athletic facilities, or playgrounds, will have a higher degree of maintenance and cultivation. On the other hand, areas that are less used or do not require a high level of care, such as disc golf courses, or open play areas will receive a less frequent or less intensive maintenance.
- Planting more trees in parks, in mass plantings rather than lines or rows, to create more shade, bird habitat, rainfall absorption and summer cooling effect.
- Planting native grasses and wild flowers in peripheral areas of parks and in park sites that are planned as natural or habitat areas. These areas will only need to be mowed once or twice per year, and rarely fertilized, reducing maintenance costs.
- Provide beds of native and drought tolerant ornamental shrubs and perennial plants for color in “high-impact” areas, such as park entrances. These beds will be mulched with recycled “green waste” such as Christmas trees, chipped branches and dead trees, and lawn clippings to help the soil retain moisture and reduce irrigation demand.
- Creating urban/ community gardens in designated parks to encourage cultivation of healthy and affordable food, while enhancing the sense of community in the adjacent neighborhoods.
- Changing irrigation practices to water only those areas that are designated as “high intensity use” areas, such as playground and adjacent picnic areas, designated sports

practice fields, and athletic facilities that host league play. This approach will conserve water and reduce costs by discouraging turf growth except in priority locations.

- Implementing drip irrigation for ornamental planting beds.
- Implementing temporary drip irrigation systems for new tree plantings, which will be decommissioned after a three year establishment period.
- Implementing the use of treated effluent at areas where direct human contact can be managed.

PLAN UPDATES

The Buda 2012 Parks, Recreation, Trails and Open Space Master Plan is a guide to be used by the Buda Parks and Recreation Department to address system needs over the next ten years. However, during that timeframe, there will be changes that occur. The area population may increase more rapidly than projected; the community may indicate a special need for a facility not listed in the recommendations; or development of some of the recommendations listed in the master plan will occur.

A review and update of this master plan by city staff and the Parks and Recreation Commission should be conducted on an annual basis, or when significant changes occur. These updates can be published in short report format and attached to this master plan for easy use. Four key areas for focus of these periodic reviews are as follows:

- **Facility Inventory** - An inventory of new or updated city-owned facilities should be recorded. This inventory should also mention any significant changes or improvements to Hays CISD schools, Hays County parks, or major private facilities that could influence recreation in Buda.
- **Public Involvement** - As mentioned previously, this master plan reflects current population and attitudes expressed by the citizens of Buda today. However, over time, those attitudes and interests may vary as the City changes. Periodic surveys



are recommended to provide a current account of the attitudes of the citizens, and to provide additional direction from the public on issues that may arise. In order to make an accurate comparison of the changes in attitudes, it is recommended that future surveys include similar questions to those included in this master plan.

- **Facility Use** – Facility use is a key factor in determining the need and renovation of additional facilities. Updates on league participation, etc. should be incorporated each season with data from each association. Changes in participation of those outside the city limits, as well as the citizens of Buda, should also be recorded.
- **Action Plan** – As items from the action plan in this document are implemented, updates should be made to the prioritized list to provide a current schedule for city staff and elected officials.

CONCLUSION - FROM GOOD TO GREAT

Buda's park system is in good condition. Many key deficiencies found in other communities in the areas of land acquisition, athletics, and access to parkland have been addressed over the past few years in Buda.

Key needs remain in the areas of addressing trails, specialized recreation facilities (such as sand volleyball courts, off-leash parks, splash pads, etc.), indoor recreation,

and park development needs triggered by future growth. All of these are high visibility features that will make Buda an even more attractive place to live.

A final key area to address revolves around the renovation and enhancement of existing parks. Like any capital asset, whether public or private, deterioration due to aging and to keep up with current trends is a constant. Renovation of existing parks needs to be accelerated to keep ahead of the aging curve. One example is that playgrounds need to be replaced every 10 to 15 years.

Expenditures for parks are extremely worthwhile investments. Buda can be known not only as a good place to live and work, but as a great place with a high quality of life. These investments, when compared to the cost of other public infrastructure, are often not very high and yet do so much to enhance the image of the City. These investments can have a very real economic and job creation impact by attracting new industry, employers and residents to the City.

This is one area in which Buda has the opportunity to become exceptional, and to be recognized throughout Texas and the region. It is time to take Buda's parks system from good to great.





APPENDIX A

survey results

MAIL-OUT SURVEY RESULTS

2012 BUDA PARKS, RECREATION, TRAILS & OPEN SPACE MASTER PLAN SURVEY CUMULATIVE TOTALS

PROJECT RAYMOND TURCO & ASSOCIATES APRIL 2012

INTRODUCTION: THE CITY OF BUDA NEEDS YOUR HELP AND YOUR INPUT! BUDA IS CURRENTLY INVOLVED IN DEVELOPING ITS PARKS MASTER PLAN. THIS DOCUMENT HELPS THE CITY SET PRIORITIES FOR PARKS, RECREATION FACILITIES, TRAILS AND OPEN SPACES FOR THE NEXT 5-10 YEARS. AS A CONCERNED CITIZEN, THE CITY TAKES YOUR VIEWS ABOUT PARKS VERY SERIOUSLY. PLEASE TAKE A FEW MINUTES TO HONESTLY ANSWER THIS SURVEY ABOUT PARKS AND RECREATION IN BUDA.

READ EACH QUESTION AND CHECK THE BOX THAT IS CLOSEST TO YOUR OPINION. CHECK ONLY ONE BOX PER QUESTION UNLESS THE INSTRUCTIONS SAY, "CHECK ALL THAT APPLY."

1. USING THE LIST BELOW, WHAT ARE YOUR AND YOUR FAMILY'S FAVORITE RECREATION ACTIVITIES?

BASEBALL/SOFTBALL . . . . .	.20%	GOING TO FESTIVALS . . . . .	.51%	NATURE/WILDLIFE . . . . .	.47%
FISHING . . . . .	.34%	BICYCLING . . . . .	.38%	VOLLEYBALL . . . . .	.11%
SOCCER . . . . .	.13%	GOLF . . . . .	.20%	EXERCISE/WORK OUT . . . . .	.43%
BMX BIKING . . . . .	.2%	TENNIS . . . . .	.14%	SKATEBOARDING . . . . .	.4%
BASKETBALL . . . . .	.26%	PICNICKING . . . . .	.31%	WALKING/HIKING . . . . .	.77%
FLAG/TACKLE FOOTBALL	10%	DISC GOLF/FRISBEE GOLF . . . . .	.11%	WALKING DOG . . . . .	.49%
SWIMMING . . . . .	.48%	RUNNING/JOGGING . . . . .	.36%	DON'T RECREATE . . . . .	.2%
		OTHER . . . . .	.9%		

2. IN THE PAST YEAR, HOW OFTEN HAVE YOU OR YOUR FAMILY PARTICIPATED IN OR UTILIZED THE FOLLOWING.

	SEVERAL TIMES/ MONTH	SEVERAL TIMES/ YEAR	ONCE YEAR	NEVER
A) VISITED A CITY PARK	36%	49%	10%	4%
B) VISITED A CITY PLAYGROUND	27%	28%	19%	27%
C) ATTENDED A SPECIAL EVENT (BUDA FEST, FIRE FEST, WIENER DOG RACES, ETC)	7%	59%	25%	9%
D) VISITED BUDA CITY PARK (THE PARK NEAR DOWNTOWN	17%	49%	19%	15%
E) USED A HIKE AND BIKE TRAIL IN BUDA	20%	35%	16%	28%
F) USED A NON-CITY FITNESS CENTER SUCH AS THE YMCA OR A PRIVATE GYM, ETC.	33%	19%	5%	43%
G) PARTICIPATED IN A YOUTH ATHLETIC LEAGUE	13%	11%	5%	70%
H) PARTICIPATED IN AN ADULT ATHLETIC LEAGUE	6%	2%	5%	86%
I) USED A HOMEOWNERS ASSOCIATION PARK IN YOUR NEIGHBORHOOD	36%	23%	7%	34%
J) ALTHOUGH NOT THE RESPONSIBILITY OF THE CITY, ARE THERE ANY AMENITIES YOU FEEL ARE LACKING OR MISSING FROM YOUR HOA PARK? POOL (26%), TRAILS/SIDEWALKS (26%), SWINGS/PLAYSCAPES/PLAYGROUND (21%), BASKETBALL COURTS/GOALS (16%), TENNIS COURTS (9%), DOG PARK/AREA (7%), , ,				

3. CHECK THE BOX THAT BEST DESCRIBES HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING.

	SA	A	D	SD
A) I'M SATISFIED WITH THE OVERALL QUALITY OF PARKS AND RECREATION IN BUDA	10%	67%	20%	3%
B) I'M SATISFIED WITH THE OVERALL QUALITY OF PARKS IN MY NEIGHBORHOOD	11%	58%	21%	9%
C) I FEEL SAFE WHEN I VISIT A PARK IN BUDA	33%	62%	4%	0%
D) BETTER PARKS WILL HELP IMPROVE OUR CITY IMAGE	53%	39%	5%	2%
E) I FEEL THAT PARKS HELP STRENGTHEN OUR CITY ECONOMICALLY	43%	44%	9%	4%
F) I'M WILLING TO PAY ADDITIONAL CITY TAXES TO SEE THE QUALITY OF PARKS AND RECREATION AMENITIES IMPROVED	19%	43%	26%	12%
G) THE CITY SHOULD IMPROVE EXISTING PARKS BEFORE DEVELOPING NEW ONES	28%	54%	16%	2%

4. WHAT IS YOUR FAVORITE PARK IN BUDA?
STAGECOACH (42%), CITY PARK/DOWNTOWN PARK/PLAYGROUND (38%), BRADFIELD (5%) GARLIC CREEK (4%), WHISPERING HOLLOW (3%)

5. HOW FREQUENTLY DO YOU VISIT THAT PARK?
SEVERAL TIMES PER WEEK . . . 12%
SEVERAL TIMES PER MONTH . . . 31%
SEVERAL TIMES PER YEAR . . . 43%
ONCE A YEAR OR LESS . . . 14%

6. WHAT AMENITIES OR RECREATION FEATURES WOULD YOU ADD TO IMPROVE THAT PARK?
TRAILS/PATHS/SIDEWALKS/CONNECTIONS (29%), POOL (14%), RESTROOMS/UPDATED/CLEANED (11%), SWINGS/PLAYGROUND EQUIPMENT (8%), SHADE (7%), LIGHTING/IMPROVED SECURITY 7%)

7. USING A SCALE OF EXCELLENT, GOOD, FAIR, OR POOR, AND BASED ON WHATEVER IMPRESSIONS YOU MAY HAVE, HOW WOULD YOU RATE BUDA REGARDING THE FOLLOWING RECREATIONAL CHARACTERISTICS

	E	G	F	P	NO
A) HAVING PARKS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS OF BUDA	20%	52%	19%	5%	4%
B) THE OVERALL SAFETY OF PARKS	24%	64%	8%	2%	3%
C) THE MAINTENANCE OF PARKS	19%	58%	20%	1%	3%
D) THE VARIETY OF RECREATIONAL FACILITIES WITHIN PARKS	7%	36%	41%	12%	4%
E) THE NUMBER OF ATHLETIC FIELDS IN THE CITY	7%	28%	33%	11%	22%
F) HAVING ATHLETIC FIELDS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS	6%	28%	30%	14%	22%
G) THE MAINTENANCE OF ATHLETIC FIELDS	7%	32%	28%	7%	26%
H) THE NUMBER OF PRACTICE FIELDS IN THE CITY	3%	25%	28%	14%	31%
I) HAVING PRACTICE FIELDS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS	4%	24%	32%	12%	29%
J) THE AMOUNT OF ACCESSIBLE NATURAL AREAS	5%	37%	35%	16%	7%
K) THE VARIETY OF SPECIAL EVENTS HELD IN THE CITY PARKS	25%	56%	14%	2%	3%



HOW WOULD YOU RATE THE FOLLOWING CITY-OWNED PARKS?

8A. RATE BUDA CITY PARK (NEAR DOWNTOWN)

EXCELLENT	13%
GOOD	57%
FAIR	24%
POOR	2%
NO OPINION	5%

8B. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE CITY PARK?

POOL (18%), TRAILS/SIDEWALKS/LONGER/MORE/PAVED (15%), TREES/LANDSCAPING/FLOWERS (12%), RESTROOM IMPROVEMENTS (10%), SHADE (6%), , , ,

8C. RATE BUDA SPORTSPLEX

EXCELLENT	14%
GOOD	37%
FAIR	12%
POOR	2%
NO OPINION	34%

8D. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE BUDA SPORTSPLEX?

LIGHTS (13%), TRAILS/SIDEWALKS/LONGER/MORE/PAVED (9%), BENCHES/BETTER SEATING AREAS (9%), TENNIS COURTS (7%), TREES/LANDSCAPING/FLOWERS (7%), POOL (7%), SHADE (7%), SOCCER FIELDS/IMPROVED/MAINTENANCE (7%), , , ,

8E. RATE THE GREENBELT (NEAR CITY HALL AND THE LIBRARY)

EXCELLENT	7%
GOOD	39%
FAIR	25%
POOR	7%
NO OPINION	21%

8F. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE THE GREENBELT?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (21%), TREES/LANDSCAPING/FLOWERS (21%), EXPANSION (10%), BENCHES/BETTER SEATING AREAS (8%), SHADE (7%), , , ,

8G. RATE BRADFIELD PARK

EXCELLENT	7%
GOOD	32%
FAIR	17%
POOR	4%
NO OPINION	41%

8H. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE BRADFIELD PARK?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (19%), SWINGS/PLAYGROUND/PLAYSCAPE (9%), BENCHES/BETTER SEATING AREAS (8%), MORE PARKING (8%), BETTER/EASIER ACCESS (8%), , , ,

8I. RATE STAGECOACH PARK

EXCELLENT	30%
GOOD	42%
FAIR	7%
POOR	1%
NO OPINION	20%

8J. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE STAGECOACH PARK?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (20%), SWINGS/PLAYGROUND/PLAYSCAPE (12%), MILE MARKERS/SIGNAGE (10%), POOL (8%), LIGHTS (7%), , , ,

8K. RATE WHISPERING HOLLOW PARK

EXCELLENT	5%
GOOD	15%
FAIR	13%
POOR	2%
NO OPINION	65%

8L. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE WHISPERING HOLLOW?

SWINGS/PLAYGROUND/PLAYSCAPE (29%), TREES/LANDSCAPING/FLOWERS (14%), DOG PARK AREA/RUN/WATER (11%), BETTER SECURITY (11%), TENNIS COURTS (7%), LIGHTS (7%), SPLASH PAD/WATER FEATURES (7%), , , , ,

8M. RATE OTHER CITY-OWNED NEIGHBORHOOD PARKS

EXCELLENT	4%
GOOD	25%
FAIR	14%
POOR	2%
NO OPINION	55%

8N. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE NEIGHBORHOOD PARKS?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (23%), SWINGS/PLAYGROUND/PLAYSCAPE (13%), LIGHTS (6%), , , , , POOL (23%),

9. PLEASE CHECK THE BOX THAT BEST DESCRIBES HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING TRAIL-RELATED STATEMENTS.

	SA	A	D	SD
A) I WOULD FEEL COMFORTABLE IF A HIKE AND BIKE TRAIL WAS LOCATED BEHIND MY HOME	24%	47%	20%	9%
B) I FEEL SAFE WHEN I USE A TRAIL IN BUDA	23%	70%	6%	1%
C) I WOULD LIKE TO SEE TRAILS DEVELOPED AS AN ALTERNATIVE MEANS OF TRANSPORTATION IN BUDA	28%	44%	22%	6%
D) TRAILS ARE LOCATED CLOSE TO WHERE I LIVE	10%	35%	41%	13%
E) I PREFER SOFT SURFACE CRUSHED GRANITE OVER CONCRETE TRAILS	39%	42%	16%	3%
F) I WOULD USE EXERCISE STATIONS IF PLACED ALONG TRAILS	25%	40%	26%	9%
G) THERE IS GOOD CONNECTIVITY BETWEEN DESTINATIONS IN BUDA VIA TRAILS	4%	17%	59%	20%
H) I WOULD LIKE TRAILS TO CONNECT TO NEARBY CITIES SUCH AS KYLE OR AUSTIN	23%	37%	28%	11%
I) THERE ARE SUFFICIENT AMENITIES ALONG TRAILS IN BUDA SUCH AS BENCHES, LIGHTING, ETC.	6%	41%	45%	7%
J) I WOULD USE MY BICYCLE TO GET TO WORK IF TRAILS WERE MORE ACCESSIBLE TO MY EMPLOYMENT AREA	12%	22%	37%	30%
K) I WOULD ALLOW MY CHILDREN TO USE THEIR BICYCLE TO GET TO SCHOOL IF TRAILS WERE MORE ACCESSIBLE IN MY NEIGHBORHOOD	15%	36%	34%	15%
L) I PREFER RIDING MY BICYCLE USING STREETS AND ROADS INSTEAD OF OFF-STREET TRAILS	4%	20%	45%	32%

10. IF ADDITIONAL TRAILS WERE CONSTRUCTED IN BUDA, TO WHICH OF THE FOLLOWING LOCATIONS OR DESTINATIONS WOULD YOU LIKE TO SEE THEM CONNECT? CHECK ALL THAT APPLY.

ALONG THE CREEKS . . . . .	.68%	YMCA . . . . .	.30%
PARKS . . . . .	.72%	SCHOOLS . . . . .	.29%
DOWNTOWN/CITY PARK . . . . .	.63%	CHURCHES . . . . .	.13%
CITY HALL/LIBRARY . . . . .	.38%	SPORTSPLEX TO DOWNTOWN/CITY PARK . . . . .	.40%
EMPLOYMENT AREAS . . . . .	.13%	OTHER . . . . .	.8%



EAST BUDA TO WEST BUDA . . .29% SHOPPING36%
 OTHER NEARBY NEIGHBORHOODS .33% RESTAURANTS'38%

11. BUDA NEEDS TO KNOW WHERE TO DIRECT ITS EFFORTS AS IT STRIVES TO MEET THE CITY'S PARK AND RECREATION NEEDS. PLEASE INDICATE HOW IMPORTANT OR UNIMPORTANT IT IS FOR THE FOLLOWING ITEMS TO BE PROVIDED OR ADDED IN BUDA'S PARKS.

	VI	I	U	VU
A) ADULT-SIZE BASEBALL/SOFTBALL FIELDS	9%	37%	43%	11%
B) BASKETBALL COURTS	13%	45%	33%	9%
C) COMMUNITY GARDENS	18%	51%	26%	6%
D) DISC GOLF/FRISBEE GOLF	6%	30%	48%	16%
E) MORE PRESERVED OPEN SPACE	37%	47%	13%	3%
F) FISHING PIERS	14%	35%	36%	14%
G) OFF-LEASH PARK	20%	27%	36%	17%
H) SHADE STRUCTURES OVER EXISTING PLAYGROUNDS	42%	45%	10%	3%
I) COMMUNITY SWIMMING POOL	36%	31%	24%	9%
J) MORE SPECIAL EVENTS/FESTIVALS AT CITY PARK GREENBELT	24%	47%	22%	7%
K) PAVILIONS FOR GROUP ACTIVITIES/PICNICS	25%	56%	15%	5%
L) MORE PLAYGROUNDS	17%	51%	26%	6%
M) SPLASH PADS/SPRAYGROUNDS	28%	33%	30%	8%
N) SAND VOLLEYBALL COURTS	12%	33%	45%	9%
O) MORE PRACTICE FIELDS FOR BASEBALL/SOFTBALL AND SOCCER/FOOTBALL	14%	32%	44%	10%
P) TENNIS COURTS	12%	41%	40%	7%
Q) PUBLIC ART IN PARKS AND ALONG TRAILS	13%	33%	39%	15%
R) TRAILS	47%	44%	7%	2%
S) CITY-OPERATED INDOOR RECREATION CENTER	28%	29%	30%	13%
T) SKATE PARK	8%	30%	39%	23%
U) FIELD LIGHTING AT BUDA SPORTSPLEX	23%	49%	20%	8%
V) MORE TREES/SHADE	56%	39%	3%	1%
W) RECREATIONAL PROGRAMS SUCH AS SUMMER DAY CAMPS, YOGA, POTTERY, ETC.	24%	45%	25%	6%
X) BMX BIKING	2%	13%	55%	30%

Y) OTHERS? PLEASE LIST:
 BATHROOMS (25%), SIDEWALKS CONNECTING TO DOWNTOWN (19%), WATER FOUNTAINS (19%), BIKE LANES ON ROADS (13%),,,,

12. USING THE LIST ABOVE, WHAT ARE THE THREE FACILITIES YOU OR YOUR FAMILY FEEL ARE MOST NEEDED?
 TRAILS (42%), COMMUNITY SWIMMING POOL (32%), MORE TREES/SHADE (32%), SPLASH PADS (18%), MORE PRESERVED OPEN SPACE (16%), PARK (16%), SHADE STRUCTURES OVER EXISTING PLAYGROUNDS (16%), INDOOR RECREATION CENTER (12%), RECREATION PROGRAMS (11%), FISHING PIERS (11%), COMMUNITY GARDENS (10%),,,,

13. PLEASE TELL US HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING STATEMENTS ABOUT OPEN SPACE

	SA	A	D	SD
A) NATURAL AREAS ARE IMPORTANT AND SHOULD BE PRESERVED WHERE AVAILABLE	69%	29%	1%	0%
B) MORE PUBLIC ACCESS SHOULD BE AVAILABLE ALONG ONION AND GARLIC CREEKS	41%	45%	11%	2%
C) PRESERVE OPEN SPACE WHERE POSSIBLE, EVEN IF SOME MUST BE PURCHASED	41%	41%	15%	2%

14. HOW SHOULD BUDA'S DRAINAGE CORRIDORS AND DETENTION BASINS BE IMPROVED TO BEAUTIFY THE CITY?

REMAIN AS THEY CURRENTLY ARE 22%
 MAINTAIN DRAINAGE IN A MORE NATURAL STATE . . . 33%
 IMPROVE DRAINAGE WITH PARK-LIKE FEATURES, . . . 45%
 EVEN IF IT INCREASES MAINTENANCE COST

15. WHAT ARE THE BIGGEST ISSUES AFFECTING BUDA CITY PARK (THE PARK LOCATED NEAR DOWNTOWN) CHECK ALL THAT APPLY.

TRAFFIC FROM EVENTS51%	LACK OF ADA ACCESSIBILITY .16%
FESTIVAL MUSIC PAST 10 PM. .11%	DUST29%
ODOR FROM NEARBY WASTEWATER.15%	LACK OF SHADE59%
TREATMENT PLANT	NOTHING THERE FOR ME. .12%
NOISE FROM EVENTS 7%	NOT ENOUGH THINGS TO DO. 15%
OUTDATED RESTROOM BUILDING .50%	WITH FAMILY
OTHER 8%	NO ACCESS TO ONION CREEK. 19%
LACK OF PARKING60%	

16. HOW STRONGLY WOULD YOU SUPPORT ADDING THE FOLLOWING AMENITIES TO BUDA CITY PARK (THE PARK LOCATED NEAR DOWNTOWN)?

	SS	S	O	SO
A) MORE TREES FOR SHADE	66%	30%	3%	1%
B) AMPHITHEATER FOR CONCERTS/EVENTS	31%	45%	19%	5%
C) IMPROVED PARKING LOT NEAR WASTEWATER TREATMENT PLANT	27%	59%	12%	2%
D) SPLASH PAD/SPRAYGROUND	37%	33%	23%	7%
E) UPDATED RESTROOMS	46%	48%	4%	2%
F) ELECTRONIC MESSAGE BOARD/SIGN	6%	26%	48%	21%
G) MADE ADA ACCESSIBLE	24%	58%	14%	3%
H) TRAILS LOOPED THROUGHOUT PARK	46%	45%	6%	3%
I) RAIN HARVESTING STATION	35%	51%	12%	2%
J) BEAUTIFY LARGE PAVILION	23%	52%	22%	3%
K) COVERED PICNIC AREAS WITH GRILLS AND TABLES	32%	53%	12%	3%
L) COMMUNITY GARDEN	28%	47%	19%	6%
M) ONION CREEK OVERLOOKS	25%	49%	22%	4%
N) SAND VOLLEYBALL COURTS	15%	40%	37%	8%

O) ARE THERE ANY OTHER FEATURES YOU FEEL SHOULD BE ADDED?
 POOL (30%), DOG PARK (14%), CONNECT PARK TO REST OF CITY BY TRAILS (11%)

17. IN WHICH NEIGHBORHOOD DO YOU LIVE:
 WHISPERING HOLLOW (13%), BRADFIELD VILLAGE/BRADFIELD (13%), GARLIC CREEK (10%), CREEKSIDE PARK/CREEKSIDE (10%), BONITA VISTA (6%),,,,

18. DO YOU LIVE	EAST OF IH-35 15%
	DOWNTOWN/CENTRAL BUDA . . . 37%
	WEST BUDA AREA 48%
19. ARE YOU	MALE 36%
	FEMALE 64%
20. WHICH AGE GROUP DO YOU FALL UNDER?	UNDER 18 YEARS OLD . . . 0%
	18 - 24 YEARS OLD . . . 0%
	25-35 YEARS OLD 25%
	36-55 YEARS OLD 43%



ONLINE SURVEY RESULTS

55-65 YEARS OLD 22%
65+ YEARS OLD 11%

21. HOW LONG HAVE YOU LIVED IN BUDA?
 LESS THAN 3 YEARS . . 28%
 4-10 YEARS 41%
 11-20 YEARS 16%
 20 YEARS OR MORE . . . 16%

22. CHECK THE APPROPRIATE AGE GROUPS FOR THE CHILDREN UNDER 18 CURRENTLY LIVING IN YOUR HOME. CHECK ALL THAT APPLY?
 NO CHILDREN 52%
 UNDER 6 YEARS OLD . . 21%
 6-12 YEARS OLD 23%
 13-18 YEARS OLD 17%

23. WHAT IS YOUR RACE? CHECK ALL THAT APPLY.
 CAUCASIAN/WHITE . . . 80%
 AFRICAN-AMERICAN/. . 3%
 BLACK
 ASIAN 2%
 OTHER 3%
 HISPANIC/LATINO . . . 18%

THANK YOU FOR YOUR INPUT.

2012 BUDA PARKS, RECREATION, TRAILS & OPEN SPACE MASTER PLAN ONLINE SURVEY CUMULATIVE TOTALS

PROJECT RAYMOND TURCO & ASSOCIATES APRIL 2012

INTRODUCTION: THE CITY OF BUDA NEEDS YOUR HELP AND YOUR INPUT! BUDA IS CURRENTLY INVOLVED IN DEVELOPING ITS PARKS MASTER PLAN. THIS DOCUMENT HELPS THE CITY SET PRIORITIES FOR PARKS, RECREATION FACILITIES, TRAILS AND OPEN SPACES FOR THE NEXT 5-10 YEARS. AS A CONCERNED CITIZEN, THE CITY TAKES YOUR VIEWS ABOUT PARKS VERY SERIOUSLY. PLEASE TAKE A FEW MINUTES TO HONESTLY ANSWER THIS SURVEY ABOUT PARKS AND RECREATION IN BUDA.

READ EACH QUESTION AND CHECK THE BOX THAT IS CLOSEST TO YOUR OPINION. CHECK ONLY ONE BOX PER QUESTION UNLESS THE INSTRUCTIONS SAY, "CHECK ALL THAT APPLY."

1. USING THE LIST BELOW, WHAT ARE YOUR AND YOUR FAMILY'S FAVORITE RECREATION ACTIVITIES?

BASEBALL/SOFTBALL . . .43%	GOING TO FESTIVALS . . .54%	NATURE/WILDLIFE . .59%
FISHING40%	BICYCLING42%	VOLLEYBALL11%
SOCCER22%	GOLF15%	EXERCISE/WORK OUT .42%
BMX BIKING4%	TENNIS9%	SKATEBOARDING . . .9%
BASKETBALL22%	PICNICKING38%	WALKING/HIKING . .75%
FLAG/TACKLE FOOTBALL 10%	DISC GOLF/FRISBEE GOLF .15%	WALKING DOG . . .45%
SWIMMING56%	RUNNING/JOGGING . . .36%	DON'T RECREATE . . .0%
		OTHER0%

2. IN THE PAST YEAR, HOW OFTEN HAVE YOU OR YOUR FAMILY PARTICIPATED IN OR UTILIZED THE FOLLOWING.

	SEVERAL TIMES/ MONTH	SEVERAL TIMES/ YEAR	ONCE YEAR	NEVER
A) VISITED A CITY PARK	44%	49%	3%	3%
B) VISITED A CITY PLAYGROUND	34%	39%	10%	17%
C) ATTENDED A SPECIAL EVENT (BUDA FEST, FIRE FEST, WIENER DOG RACES, ETC)	5%	74%	16%	4%
D) VISITED BUDA CITY PARK (THE PARK NEAR DOWNTOWN	18%	66%	9%	8%
E) USED A HIKE AND BIKE TRAIL IN BUDA	16%	43%	12%	29%
F) USED A NON-CITY FITNESS CENTER SUCH AS THE YMCA OR A PRIVATE GYM, ETC.	38%	25%	10%	27%
G) PARTICIPATED IN A YOUTH ATHLETIC LEAGUE	19%	14%	11%	56%
H) PARTICIPATED IN AN ADULT ATHLETIC LEAGUE	5%	7%	6%	83%
I) USED A HOMEOWNERS ASSOCIATION PARK IN YOUR NEIGHBORHOOD	34%	19%	4%	43%
J) ALTHOUGH NOT THE RESPONSIBILITY OF THE CITY, ARE THERE ANY AMENITIES YOU FEEL ARE LACKING OR MISSING FROM YOUR HOA PARK? SWINGS/PLAYSCAPES/PLAYGROUND (37%), POOL (22%), TRAILS/SIDEWALKS (22%), BASKETBALL COURTS/GOALS (19%), DOG PARK/AREA (7%), SHADE (7%), , , ,				



3. CHECK THE BOX THAT BEST DESCRIBES HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING.

	SA	A	D	SD
A) I'M SATISFIED WITH THE OVERALL QUALITY OF PARKS AND RECREATION IN BUDA	14%	61%	24%	1%
B) I'M SATISFIED WITH THE OVERALL QUALITY OF PARKS IN MY NEIGHBORHOOD	8%	47%	38%	7%
C) I FEEL SAFE WHEN I VISIT A PARK IN BUDA	36%	59%	3%	1%
D) BETTER PARKS WILL HELP IMPROVE OUR CITY IMAGE	55%	40%	5%	1%
E) I FEEL THAT PARKS HELP STRENGTHEN OUR CITY ECONOMICALLY	47%	43%	9%	1%
F) I'M WILLING TO PAY ADDITIONAL CITY TAXES TO SEE THE QUALITY OF PARKS AND RECREATION AMENITIES IMPROVED	23%	51%	22%	5%
G) THE CITY SHOULD IMPROVE EXISTING PARKS BEFORE DEVELOPING NEW ONES	34%	50%	15%	1%

4. WHAT IS YOUR FAVORITE PARK IN BUDA?

STAGECOACH (50%), CITY PARK/DOWNTOWN PARK/PLAYGROUND (40%), WHISPERING HOLLOW (1%), BONITA VISTA (1%), STONERIDGE (1%)

5. HOW FREQUENTLY DO YOU VISIT THAT PARK?

SEVERAL TIMES PER WEEK	10%
SEVERAL TIMES PER MONTH	41%
SEVERAL TIMES PER YEAR	43%
ONCE A YEAR OR LESS	6%

6. WHAT AMENITIES OR RECREATION FEATURES WOULD YOU ADD TO IMPROVE THAT PARK?

POOL (21%), RESTROOMS/UPDATED/CLEANED (14%), TRAILS/PATHS/SIDEWALKS/CONNECTIONS (13%), SWINGS/PLAYGROUND EQUIPMENT (9%), LIGHTING/IMPROVED SECURITY (7%), PICNIC TABLES/AREAS/PAVILIONS (7%), , , ,

7. USING A SCALE OF EXCELLENT, GOOD, FAIR, OR POOR, AND BASED ON WHATEVER IMPRESSIONS YOU MAY HAVE, HOW WOULD YOU RATE BUDA REGARDING THE FOLLOWING RECREATIONAL CHARACTERISTICS

	E	G	F	P	NO
A) HAVING PARKS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS OF BUDA	20%	62%	14%	4%	0%
B) THE OVERALL SAFETY OF PARKS	25%	68%	7%	0%	0%
C) THE MAINTENANCE OF PARKS	18%	64%	16%	3%	0%
D) THE VARIETY OF RECREATIONAL FACILITIES WITHIN PARKS	5%	45%	41%	9%	0%
E) THE NUMBER OF ATHLETIC FIELDS IN THE CITY	9%	45%	36%	9%	0%
F) HAVING ATHLETIC FIELDS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS	5%	40%	39%	16%	0%
G) THE MAINTENANCE OF ATHLETIC FIELDS	4%	68%	26%	1%	0%
H) THE NUMBER OF PRACTICE FIELDS IN THE CITY	5%	36%	46%	13%	0%
I) HAVING PRACTICE FIELDS CONVENIENTLY LOCATED FOR PEOPLE IN ALL AREAS	5%	37%	42%	16%	0%
J) THE AMOUNT OF ACCESSIBLE NATURAL AREAS	7%	43%	33%	17%	0%
K) THE VARIETY OF SPECIAL EVENTS HELD IN THE CITY PARKS	32%	50%	16%	1%	0%

HOW WOULD YOU RATE THE FOLLOWING CITY-OWNED PARKS?

8A. RATE BUDA CITY PARK (NEAR DOWNTOWN)

EXCELLENT	17%
GOOD	56%
FAIR	23%
POOR	4%

8B. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE CITY PARK?

POOL (21%), TREES/LANDSCAPING/FLOWERS (19%), RESTROOM IMPROVEMENTS (14%), VOLLEYBALL (7%), TRAILS/SIDEWALKS/LONGER/MORE/PAVED (5%), TENNIS COURTS (5%), BENCHES/BETTER SEATING AREAS (5%), LIGHTS (5%), , , , ,

8C. RATE BUDA SPORTSPLEX

EXCELLENT	24%
GOOD	60%
FAIR	16%
POOR	0%

8D. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE BUDA SPORTSPLEX?

LIGHTS (25%), CONCESSIONS (17%), MORE PARKING (8%), TREES/LANDSCAPING/FLOWERS (8%), BASEBALL/SOFTBALL FIELDS/AMENITIES (8%), , , , ,

8E. RATE THE GREENBELT (NEAR CITY HALL AND THE LIBRARY)

EXCELLENT	11%
GOOD	45%
FAIR	32%
POOR	12%

8F. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE THE GREENBELT?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (14%), TREES/LANDSCAPING/FLOWERS (14%), PICNIC TABLES/AREAS/PAVILIONS (14%), BENCHES/BETTER SEATING AREAS (7%), MORE PARKING (7%), LIGHTS (7%), MILE MARKERS/SIGNAGE (7%), EXPANSION (7%), WATER FOUNTAINS (7%)

8G. RATE BRADFIELD PARK

EXCELLENT	12%
GOOD	48%
FAIR	33%
POOR	8%

8H. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE BRADFIELD PARK?

TRAILS/SIDEWALKS/LONGER/MORE/PAVED (33%), MORE PARKING (10%), RESTROOM IMPROVEMENTS (10%), LIGHTS (10%), , , , ,

8I. RATE STAGECOACH PARK

EXCELLENT	48%
GOOD	46%
FAIR	6%
POOR	0%

8J. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE STAGECOACH PARK?

SWINGS/PLAYGROUND/PLAYSCAPE (17%), TRAILS/SIDEWALKS/LONGER/MORE/PAVED (13%), RESTROOM IMPROVEMENTS (8%), MILE MARKERS/SIGNAGE (8%), PICNIC TABLES/AREAS/PAVILIONS (8%), , , , ,



8K. RATE WHISPERING HOLLOW PARK

EXCELLENT	15%
GOOD	49%
FAIR	33%
POOR	3%

8L. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE WHISPERING HOLLOW?
 SWINGS/PLAYGROUND/PLAYSCAPE (27%), BASKETBALL COURTS (27%),
 TREES/LANDSCAPING/FLOWERS (20%), DOG PARK AREA/RUN/WATER (13%), LIGHTS (7%)

8M. RATE OTHER CITY-OWNED NEIGHBORHOOD PARKS

EXCELLENT	7%
GOOD	41%
FAIR	46%
POOR	5%

8N. WHAT AMENITY OR FEATURE WOULD YOU ADD TO IMPROVE NEIGHBORHOOD PARKS?
 LIGHTS (24%), SWINGS/PLAYGROUND/PLAYSCAPE (24%),
 TRAILS/SIDEWALKS/LONGER/MORE/PAVED (12%), BASKETBALL COURTS (12%), , , ,

9. PLEASE CHECK THE BOX THAT BEST DESCRIBES HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING TRAIL-RELATED STATEMENTS.

	SA	A	D	SD
A) I WOULD FEEL COMFORTABLE IF A HIKE AND BIKE TRAIL WAS LOCATED BEHIND MY HOME	31%	49%	16%	4%
B) I FEEL SAFE WHEN I USE A TRAIL IN BUDA	23%	77%	0%	0%
C) I WOULD LIKE TO SEE TRAILS DEVELOPED AS AN ALTERNATIVE MEANS OF TRANSPORTATION IN BUDA	36%	43%	19%	3%
D) TRAILS ARE LOCATED CLOSE TO WHERE I LIVE	8%	36%	42%	14%
E) I PREFER SOFT SURFACE CRUSHED GRANITE OVER CONCRETE TRAILS	41%	41%	14%	4%
F) I WOULD USE EXERCISE STATIONS IF PLACED ALONG TRAILS	27%	38%	28%	7%
G) THERE IS GOOD CONNECTIVITY BETWEEN DESTINATIONS IN BUDA VIA TRAILS	8%	22%	56%	14%
H) I WOULD LIKE TRAILS TO CONNECT TO NEARBY CITIES SUCH AS KYLE OR AUSTIN	28%	41%	24%	7%
I) THERE ARE SUFFICIENT AMENITIES ALONG TRAILS IN BUDA SUCH AS BENCHES, LIGHTING, ETC.	5%	47%	45%	3%
J) I WOULD USE MY BICYCLE TO GET TO WORK IF TRAILS WERE MORE ACCESSIBLE TO MY EMPLOYMENT AREA	14%	30%	39%	18%
K) I WOULD ALLOW MY CHILDREN TO USE THEIR BICYCLE TO GET TO SCHOOL IF TRAILS WERE MORE ACCESSIBLE IN MY NEIGHBORHOOD	25%	40%	22%	13%
L) I PREFER RIDING MY BICYCLE USING STREETS AND ROADS INSTEAD OF OFF-STREET TRAILS	4%	19%	49%	27%

10. IF ADDITIONAL TRAILS WERE CONSTRUCTED IN BUDA, TO WHICH OF THE FOLLOWING LOCATIONS OR DESTINATIONS WOULD YOU LIKE TO SEE THEM CONNECT? CHECK ALL THAT APPLY.

ALONG THE CREEKS	.70%	YMCA	.45%
PARKS	.74%	SCHOOLS	.51%
DOWNTOWN/CITY PARK	.74%	CHURCHES	.41%
CITY HALL/LIBRARY	.44%	SPORTSPLEX TO DOWNTOWN/CITY PARK	.53%
EMPLOYMENT AREAS	.22%	OTHER	.5%
EAST BUDA TO WEST BUDA	.29%	SHOPPING	.36%
OTHER NEARBY NEIGHBORHOODS	.38%	RESTAURANTS	.26%

11. BUDA NEEDS TO KNOW WHERE TO DIRECT ITS EFFORTS AS IT STRIVES TO MEET THE CITY'S PARK AND RECREATION NEEDS. PLEASE INDICATE HOW IMPORTANT OR UNIMPORTANT IT IS FOR THE FOLLOWING ITEMS TO BE PROVIDED OR ADDED IN BUDA'S PARKS.

	VI	I	U	VU
A) ADULT-SIZE BASEBALL/SOFTBALL FIELDS	14%	53%	28%	5%
B) BASKETBALL COURTS	23%	53%	21%	3%
C) COMMUNITY GARDENS	19%	58%	21%	3%
D) DISC GOLF/FRISBEE GOLF	19%	34%	38%	8%
E) MORE PRESERVED OPEN SPACE	37%	51%	12%	0%
F) FISHING PIERS	19%	44%	32%	5%
G) OFF-LEASH PARK	21%	40%	31%	8%
H) SHADE STRUCTURES OVER EXISTING PLAYGROUNDS	55%	37%	5%	3%
I) COMMUNITY SWIMMING POOL	44%	36%	14%	7%
J) MORE SPECIAL EVENTS/FESTIVALS AT CITY PARK GREENBELT	25%	46%	24%	4%
K) PAVILIONS FOR GROUP ACTIVITIES/PICNICS	31%	59%	7%	3%
L) MORE PLAYGROUNDS	17%	56%	23%	4%
M) SPLASH PADS/SPRAYGROUNDS	34%	42%	18%	5%
N) SAND VOLLEYBALL COURTS	15%	46%	32%	7%
O) MORE PRACTICE FIELDS FOR BASEBALL/SOFTBALL AND SOCCER/FOOTBALL	18%	47%	25%	10%
P) TENNIS COURTS	14%	49%	33%	4%
Q) PUBLIC ART IN PARKS AND ALONG TRAILS	15%	39%	33%	13%
R) TRAILS	59%	37%	3%	1%
S) CITY-OPERATED INDOOR RECREATION CENTER	36%	26%	26%	13%
T) SKATE PARK	11%	36%	41%	11%
U) FIELD LIGHTING AT BUDA SPORTSPLEX	39%	46%	7%	7%
V) MORE TREES/SHADE	65%	31%	1%	3%
W) RECREATIONAL PROGRAMS SUCH AS SUMMER DAY CAMPS, YOGA, POTTERY, ETC.	37%	34%	21%	8%
X) BMX BIKING	6%	30%	42%	23%
Y) OTHERS? PLEASE LIST: CAMPGROUNDS, BRIDGES, CONSERVATION AND WILDLIFE PRESERVATION, RADIO CONTROLLED CAR TRACK, RAIN CATCHERS ON PAVILION, SHADE, SHOOTING AREA, ON TRAILS, EXERCISE STATIONS (EACH 9%)				

12. USING THE LIST ABOVE, WHAT ARE THE THREE FACILITIES YOU OR YOUR FAMILY FEEL ARE MOST NEEDED?

TRAILS (49%), COMMUNITY SWIMMING POOL (36%), SHADE STRUCTURES OVER EXISTING PLAYGROUNDS (26%), MORE PRESERVED OPEN SPACE (20%), INDOOR RECREATION CENTER (20%), MORE TREES/SHADE (20%), SPLASH PADS (14%), PARK (13%), DISC GOLF/FRISBEE GOLF (10%), FISHING PIERS (10%), PAVILIONS FOR GROUP ACTIVITIES (10%), MORE PRACTICE FIELDS FOR BASEBALL/SOFTBALL AND SOCCER/FOOTBALL (10%), TENNIS COURTS (10%), , , ,

13. PLEASE TELL US HOW STRONGLY YOU AGREE OR DISAGREE WITH THE FOLLOWING STATEMENTS ABOUT OPEN SPACE

	SA	A	D	SD
A) NATURAL AREAS ARE IMPORTANT AND SHOULD BE PRESERVED WHERE AVAILABLE	75%	22%	3%	0%
B) MORE PUBLIC ACCESS SHOULD BE AVAILABLE ALONG UNION AND GARLIC CREEKS	39%	49%	13%	0%
C) PRESERVE OPEN SPACE WHERE POSSIBLE, EVEN IF SOME MUST BE PURCHASED	44%	36%	18%	1%



14. HOW SHOULD BUDA'S DRAINAGE CORRIDORS AND DETENTION BASINS BE IMPROVED TO BEAUTIFY THE CITY?

- REMAIN AS THEY CURRENTLY ARE 13%
- MAINTAIN DRAINAGE IN A MORE NATURAL STATE . . . 29%
- IMPROVE DRAINAGE WITH PARK-LIKE FEATURES, . . . 57%
- EVEN IF IT INCREASES MAINTENANCE COST

15. WHAT ARE THE BIGGEST ISSUES AFFECTING BUDA CITY PARK (THE PARK LOCATED NEAR DOWNTOWN) CHECK ALL THAT APPLY.

- | | |
|-----------------------------------|--------------------------------|
| TRAFFIC FROM EVENTS49% | LACK OF ADA ACCESSIBILITY .12% |
| FESTIVAL MUSIC PAST 10 PM. . . 7% | DUST23% |
| ODOR FROM NEARBY WASTEWATER.26% | LACK OF SHADE67% |
| TREATMENT PLANT | NOTHING THERE FOR ME. . .13% |
| NOISE FROM EVENTS 7% | NOT ENOUGH THINGS TO DO. |
| OUTDATED RESTROOM BUILDING .68% | WITH FAMILY |
| OTHER 3% | NO ACCESS TO ONION CREEK. 25% |
| LACK OF PARKING67% | |

16. HOW STRONGLY WOULD YOU SUPPORT ADDING THE FOLLOWING AMENITIES TO BUDA CITY PARK (THE PARK LOCATED NEAR DOWNTOWN)?

	SS	S	O	SO
A) MORE TREES FOR SHADE	73%	27%	0%	0%
B) AMPHITHEATER FOR CONCERTS/EVENTS	43%	46%	7%	3%
C) IMPROVED PARKING LOT NEAR WASTEWATER TREATMENT PLANT	34%	60%	6%	0%
D) SPASH PAD/SPRAYGROUND	52%	25%	17%	6%
E) UPDATED RESTROOMS	65%	34%	1%	0%
F) ELECTRONIC MESSAGE BOARD/SIGN	17%	25%	44%	14%
G) MADE ADA ACCESSIBLE	28%	63%	7%	1%
H) TRAILS LOOPED THROUGHOUT PARK	44%	49%	7%	0%
I) RAIN HARVESTING STATION	39%	42%	16%	3%
J) BEAUTIFY LARGE PAVILION	31%	47%	19%	3%
K) COVERED PICNIC AREAS WITH GRILLS AND TABLES	42%	46%	8%	3%
L) COMMUNITY GARDEN	25%	40%	29%	6%
M) ONION CREEK OVERLOOKS	32%	54%	12%	3%
N) SAND VOLLEYBALL COURTS	25%	45%	20%	11%

O) ARE THERE ANY OTHER FEATURES YOU FEEL SHOULD BE ADDED?
 POOL (44%), DISC GOLF COURSE (33%), TENNIS COURTS (11%), BASKETBALL (11%),
 LANDSCAPING (11%), PARKING (11%)

17. IN WHICH NEIGHBORHOOD DO YOU LIVE:
 WHISPERING HOLLOW (21%), BRADFIELD VILLAGE/BRADFIELD (10%), OLD TOWN/HISTORIC DISTRICT (8%), CULLEN COUNTRY (6%), GARLIC CREEK (5%), SEQUIA/SEQUOYAH (5%), BONITA VISTA (5%), DOWNTOWN (5%), SHADOW CREEK (5%), , , ,

18. DO YOU LIVE EAST OF IH-35 14%
 DOWNTOWN/CENTRAL BUDA 28%
 WEST BUDA AREA 58%

19. ARE YOU MALE 54%
 FEMALE 46%

20. WHICH AGE GROUP DO YOU FALL UNDER?
 UNDER 18 YEARS OLD . . . 0%
 18 - 24 YEARS OLD . . . 1%
 25-35 YEARS OLD 30%

36-55 YEARS OLD 61%
 55-65 YEARS OLD 7%
 65+ YEARS OLD 1%

21. HOW LONG HAVE YOU LIVED IN BUDA?

LESS THAN 3 YEARS . . . 33%
 4-10 YEARS 36%
 11-20 YEARS 20%
 20 YEARS OR MORE . . . 11%

22. CHECK THE APPROPRIATE AGE GROUPS FOR THE CHILDREN UNDER 18 CURRENTLY LIVING IN YOUR HOME. CHECK ALL THAT APPLY?

NO CHILDREN 25%
 UNDER 6 YEARS OLD . . 35%
 6-12 YEARS OLD 36%
 13-18 YEARS OLD 30%

23. WHAT IS YOUR RACE? CHECK ALL THAT APPLY.

CAUCASIAN/WHITE . . . 81%
 AFRICAN-AMERICAN/. . . 3%
 BLACK
 ASIAN 0%
 OTHER 7%
 HISPANIC/LATINO . . . 15%

THANK YOU FOR YOUR INPUT.

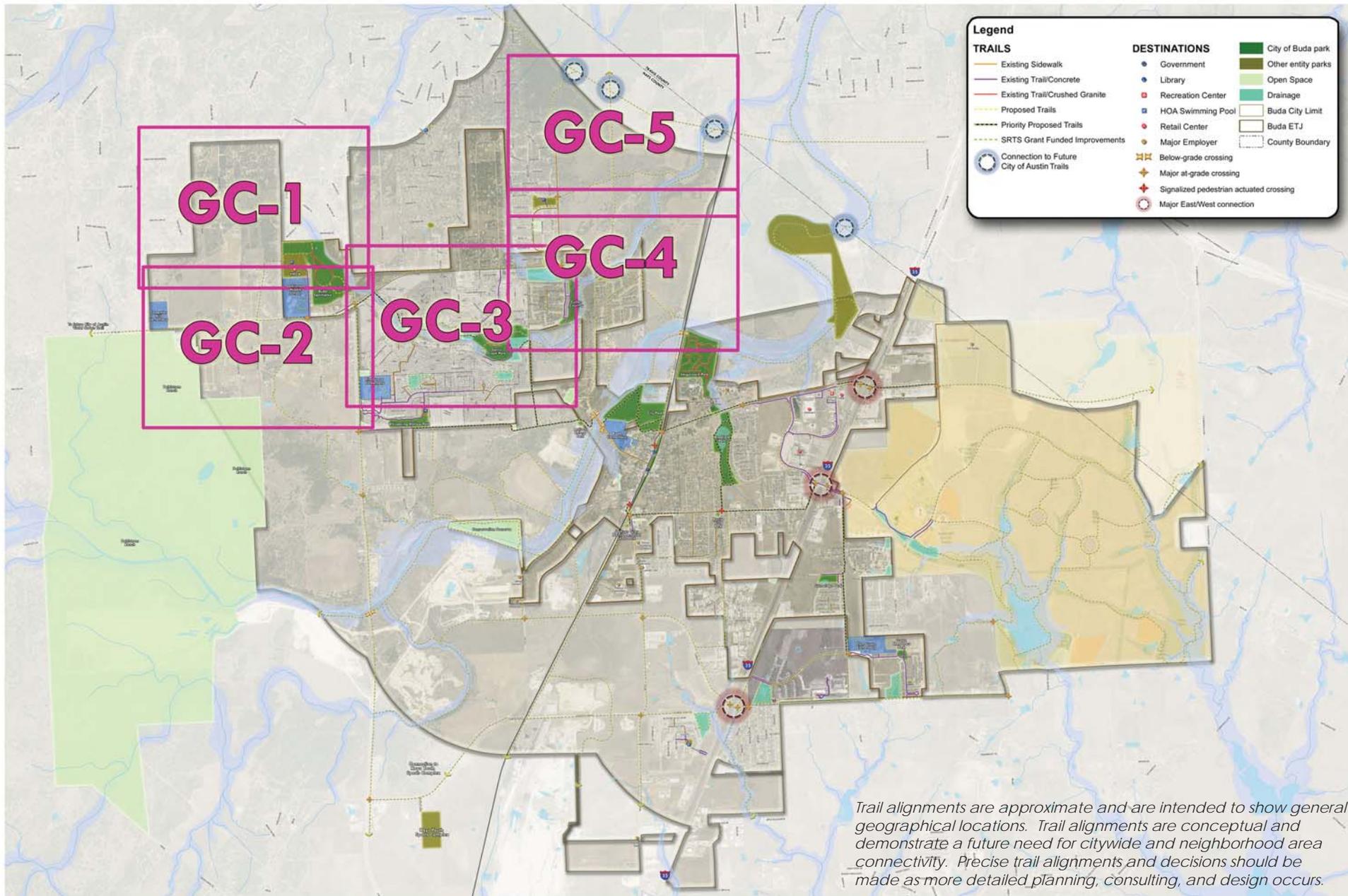




APPENDIX B

trail plates





Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan





Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



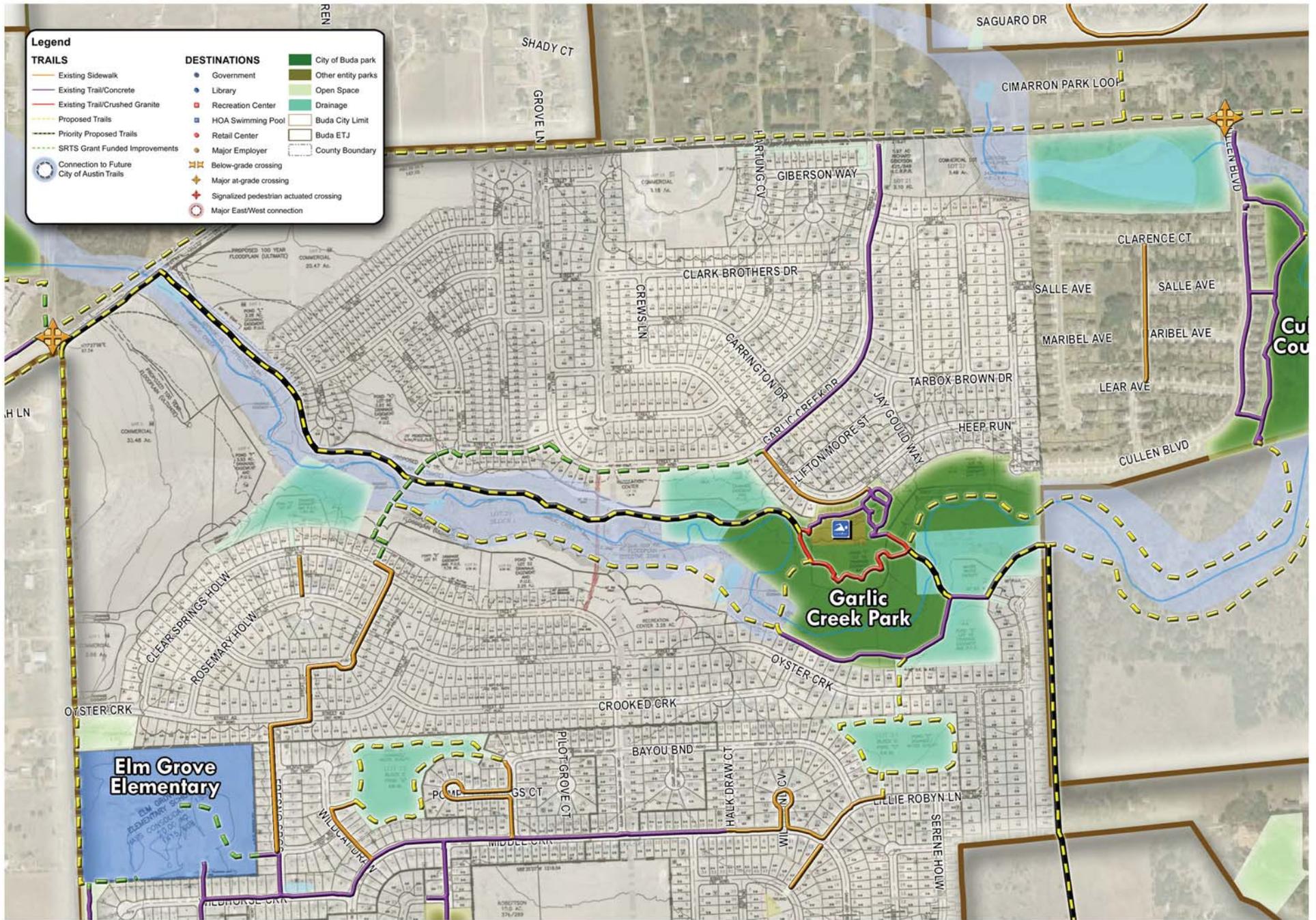
PLATE
GC-1



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan





Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
GC-3

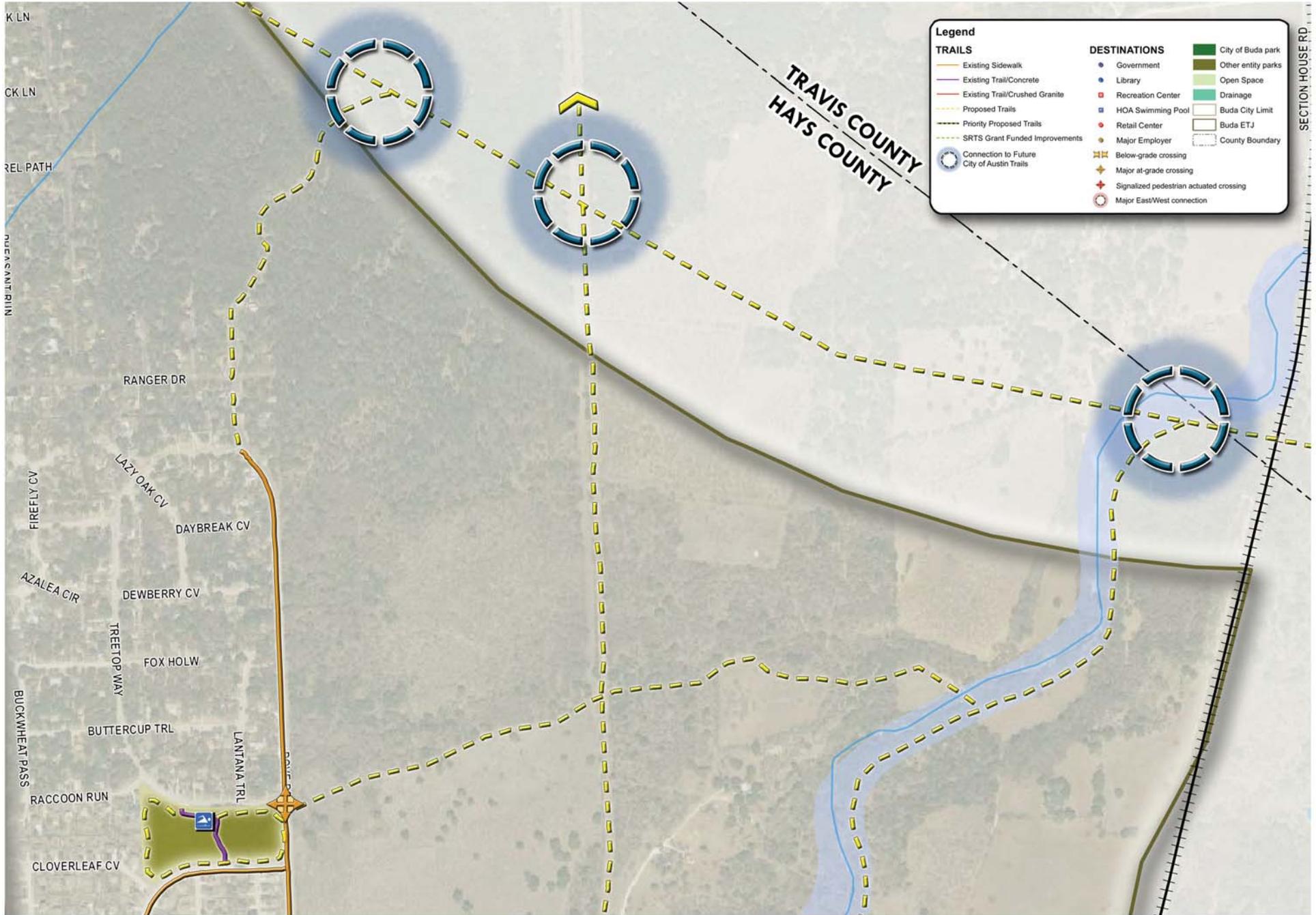


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
GC-4

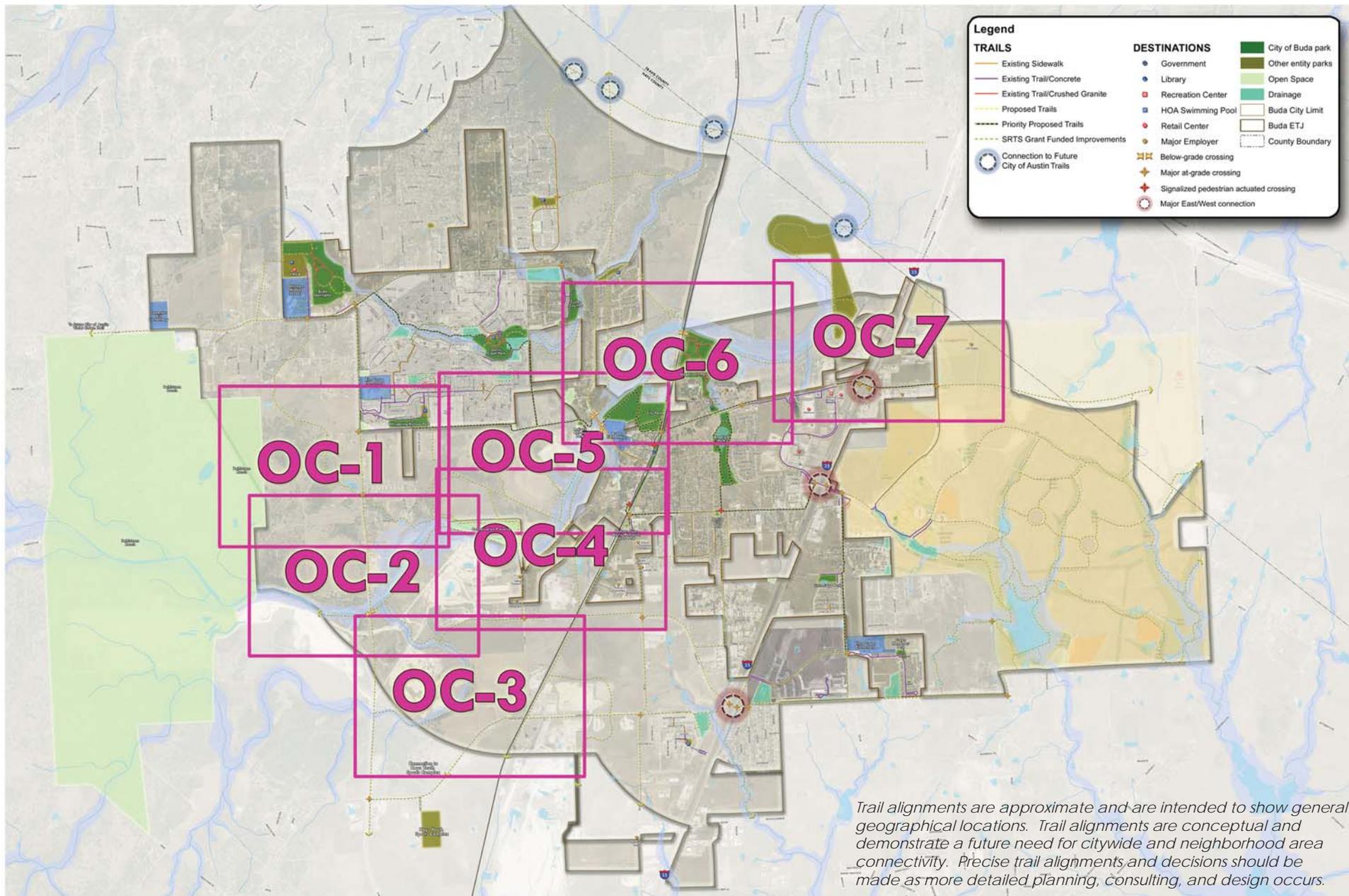


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
GC-5

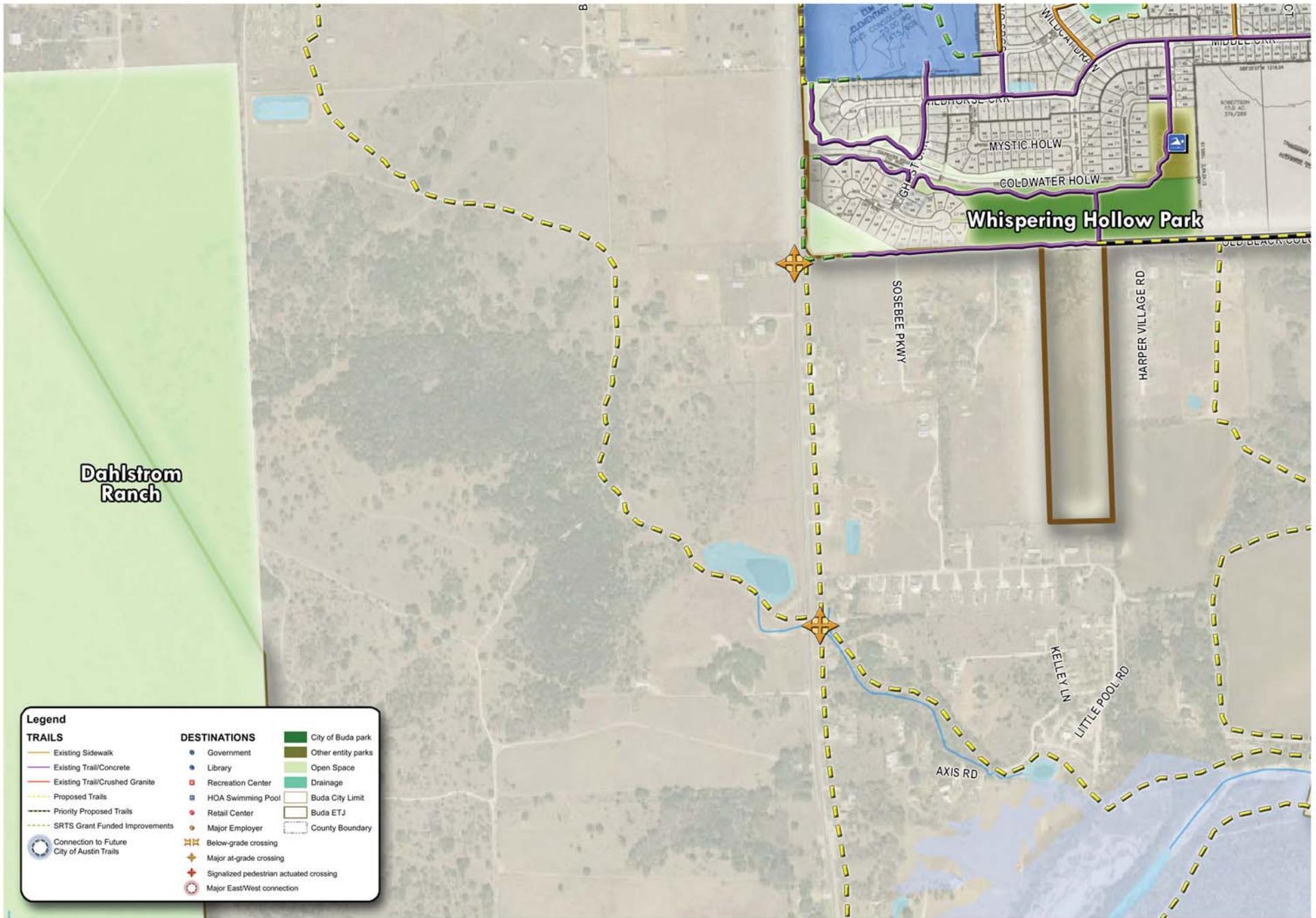


Trail alignments are approximate and are intended to show general geographical locations. Trail alignments are conceptual and demonstrate a future need for citywide and neighborhood area connectivity. Precise trail alignments and decisions should be made as more detailed planning, consulting, and design occurs.

Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



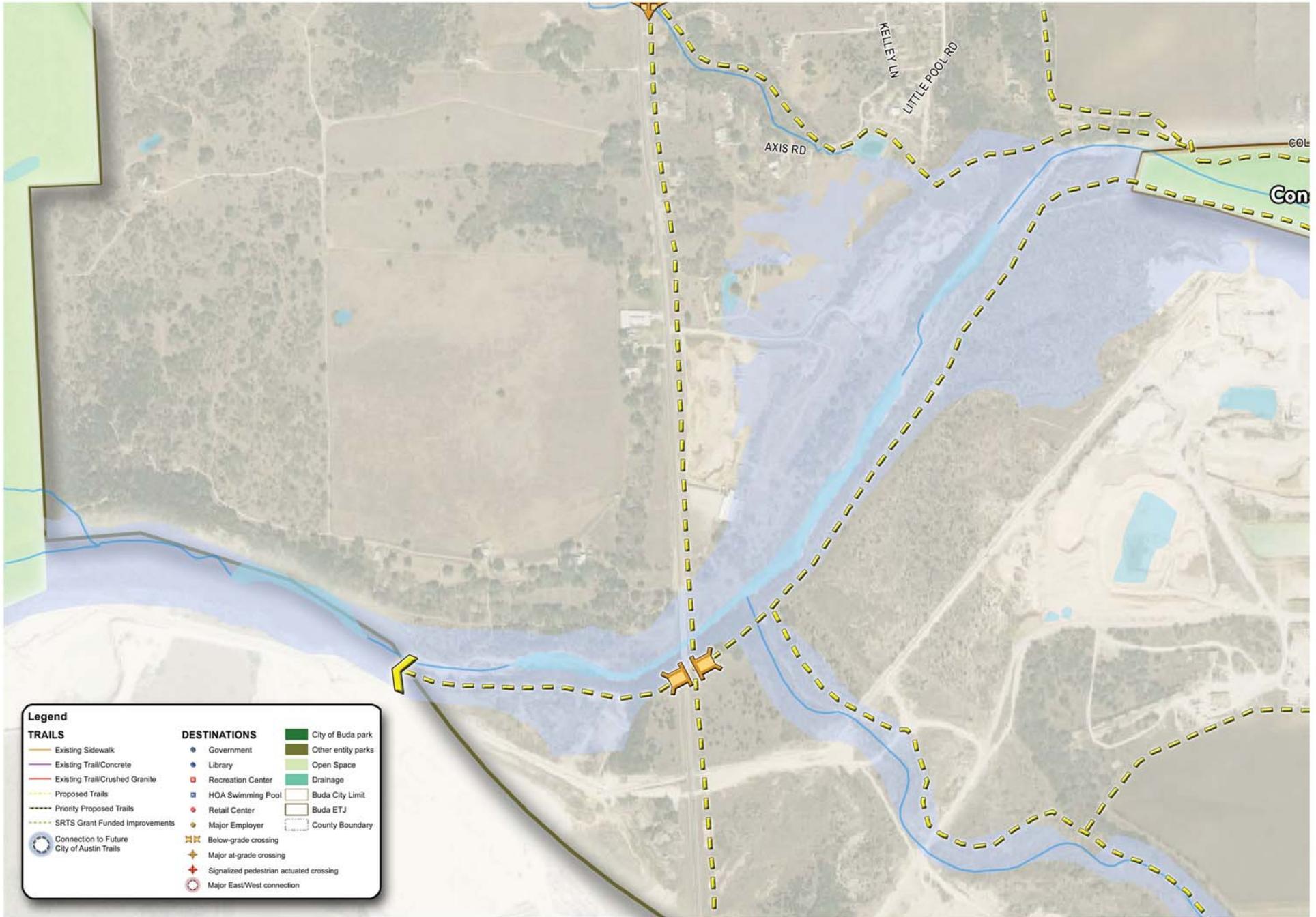


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



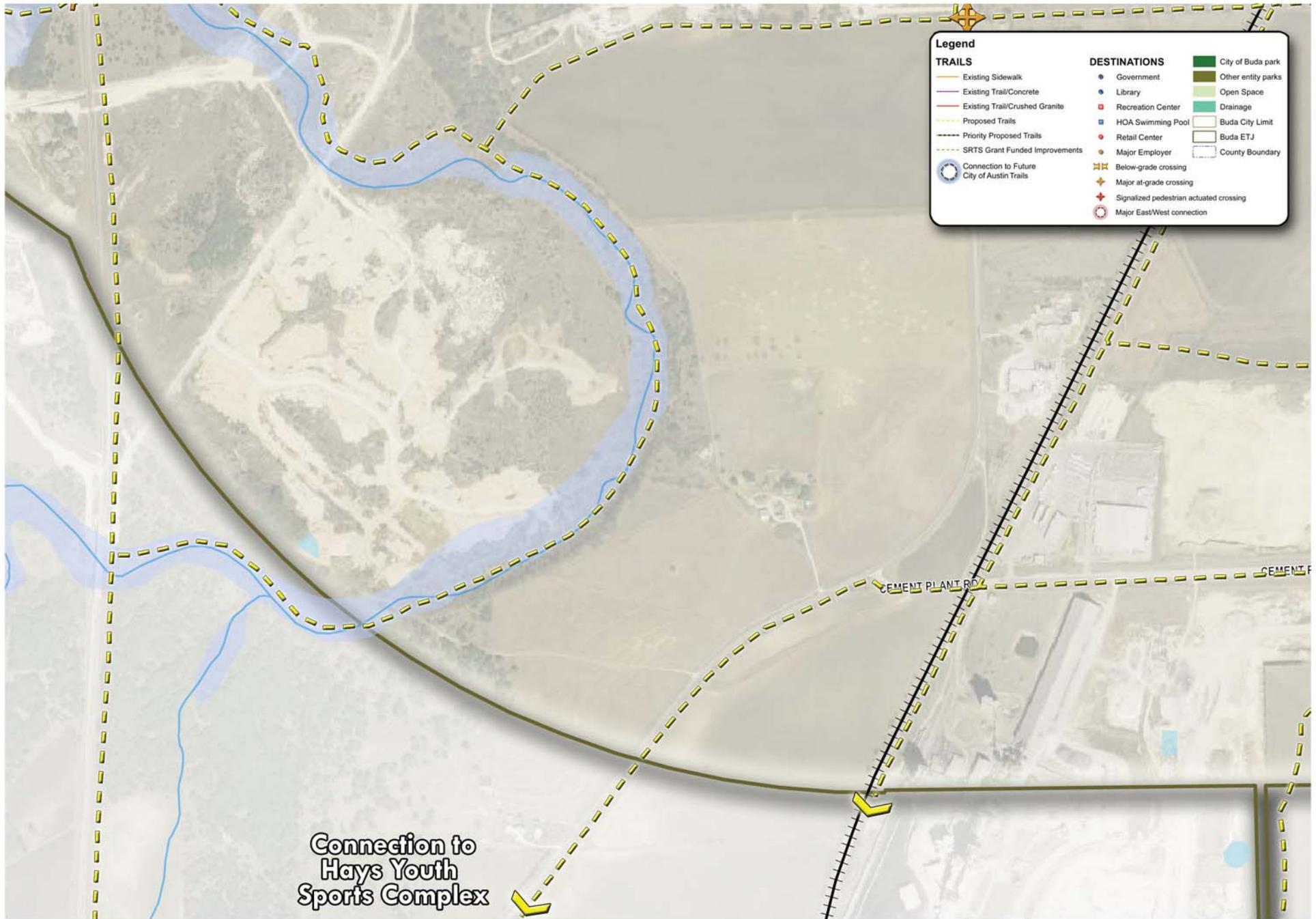
PLATE
OC-1



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan





Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

GRAPHIC SCALE

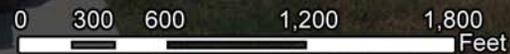
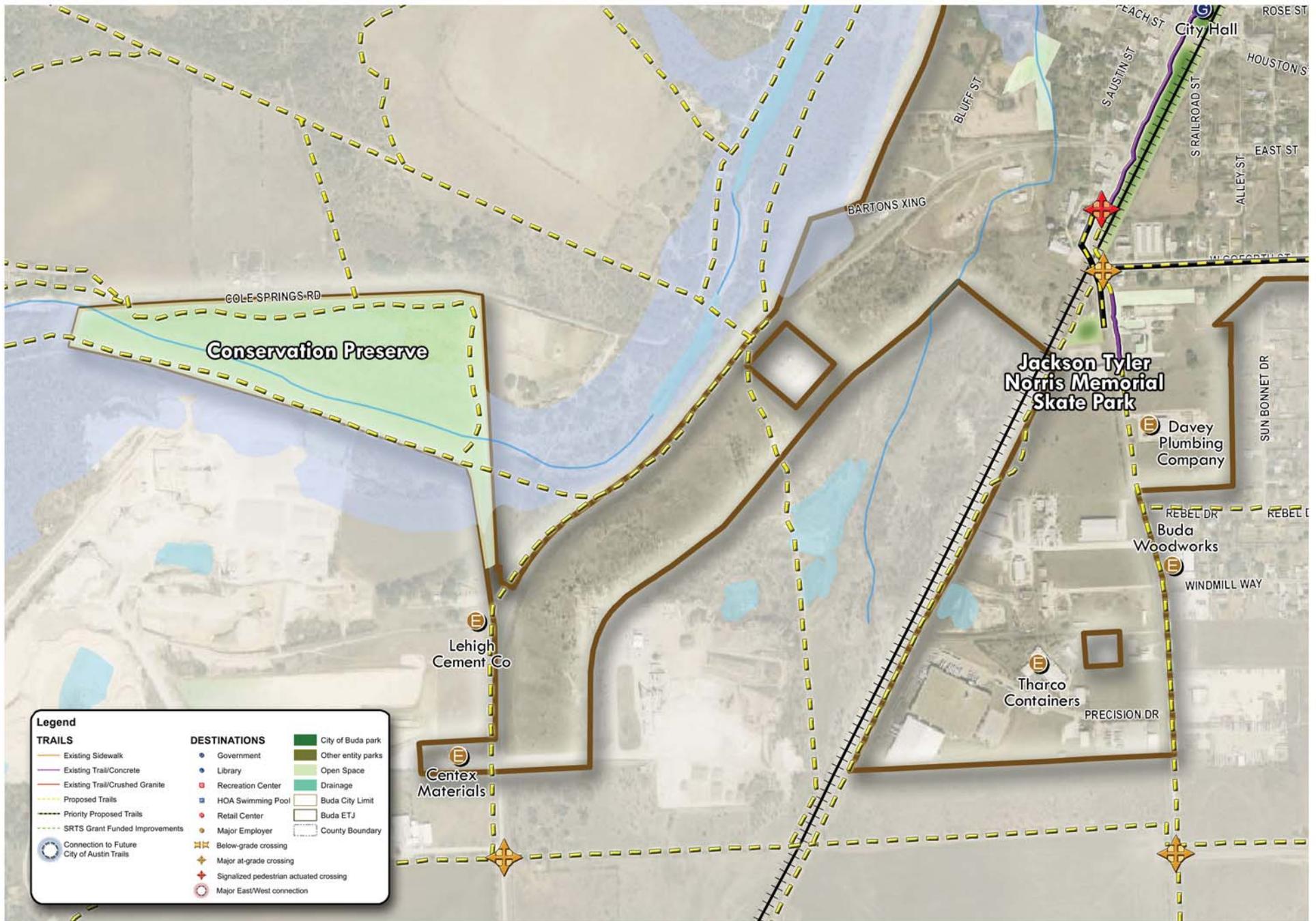


PLATE
OC-3

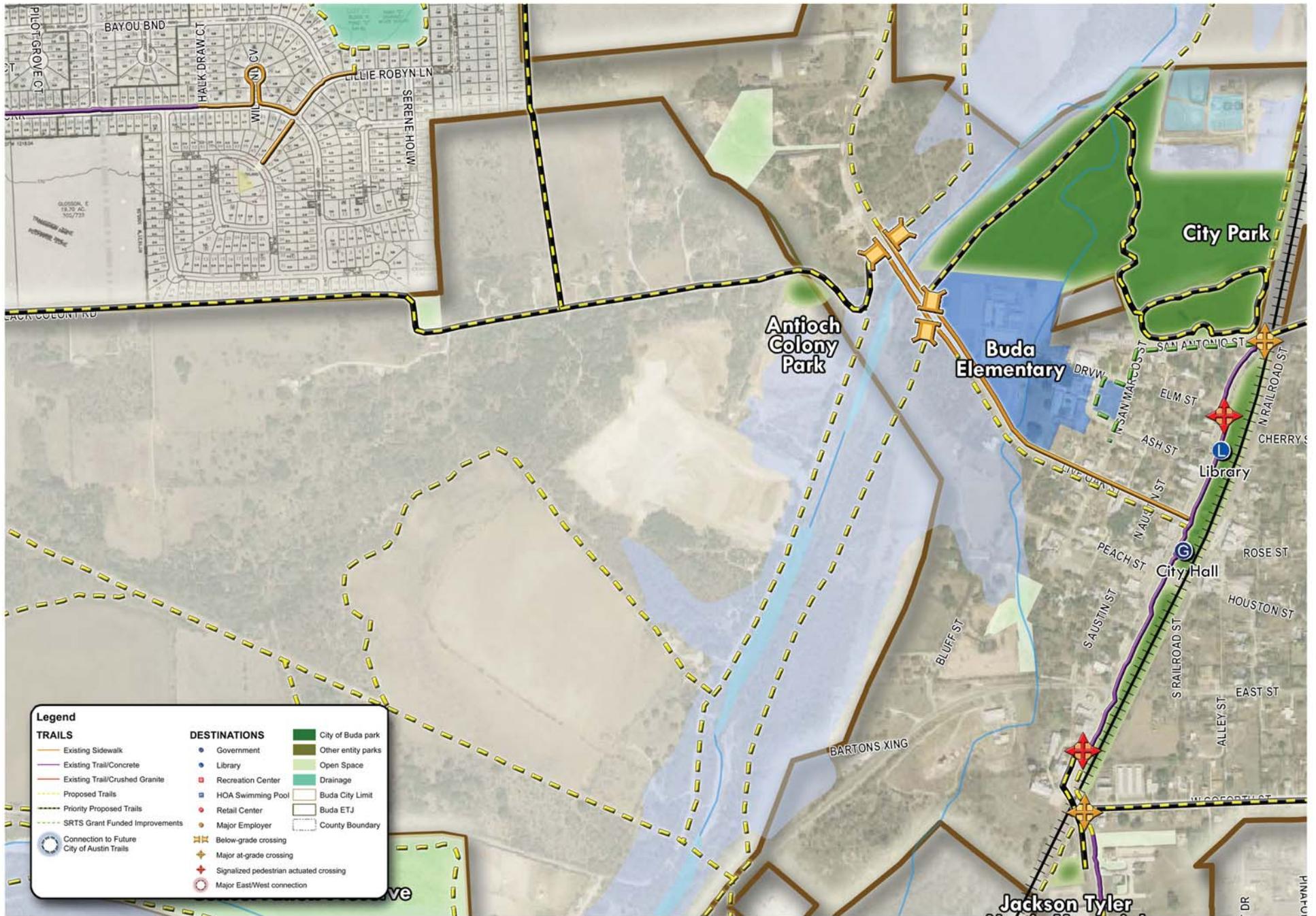


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
OC-4



Legend	
TRAILS	DESTINATIONS
Existing Sidewalk	Government
Existing Trail/Concrete	Library
Existing Trail/Crushed Granite	Recreation Center
Proposed Trails	HOA Swimming Pool
Priority Proposed Trails	Retail Center
SRTS Grant Funded Improvements	Major Employer
Connection to Future City of Austin Trails	Below-grade crossing
	Major at-grade crossing
	Signalized pedestrian actuated crossing
	Major East/West connection
	City of Buda park
	Other entity parks
	Open Space
	Drainage
	Buda City Limit
	Buda ETJ
	County Boundary

Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

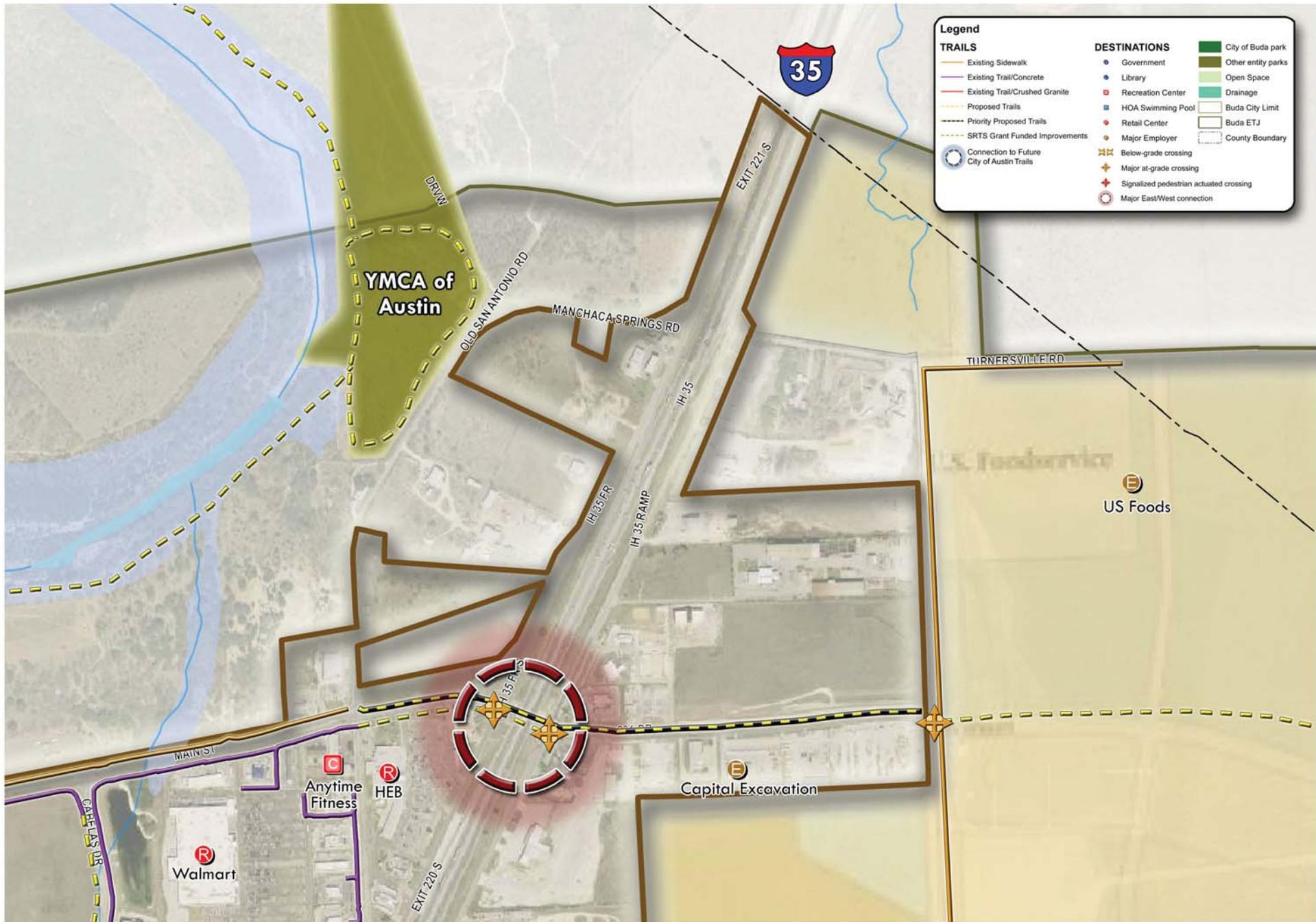




Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



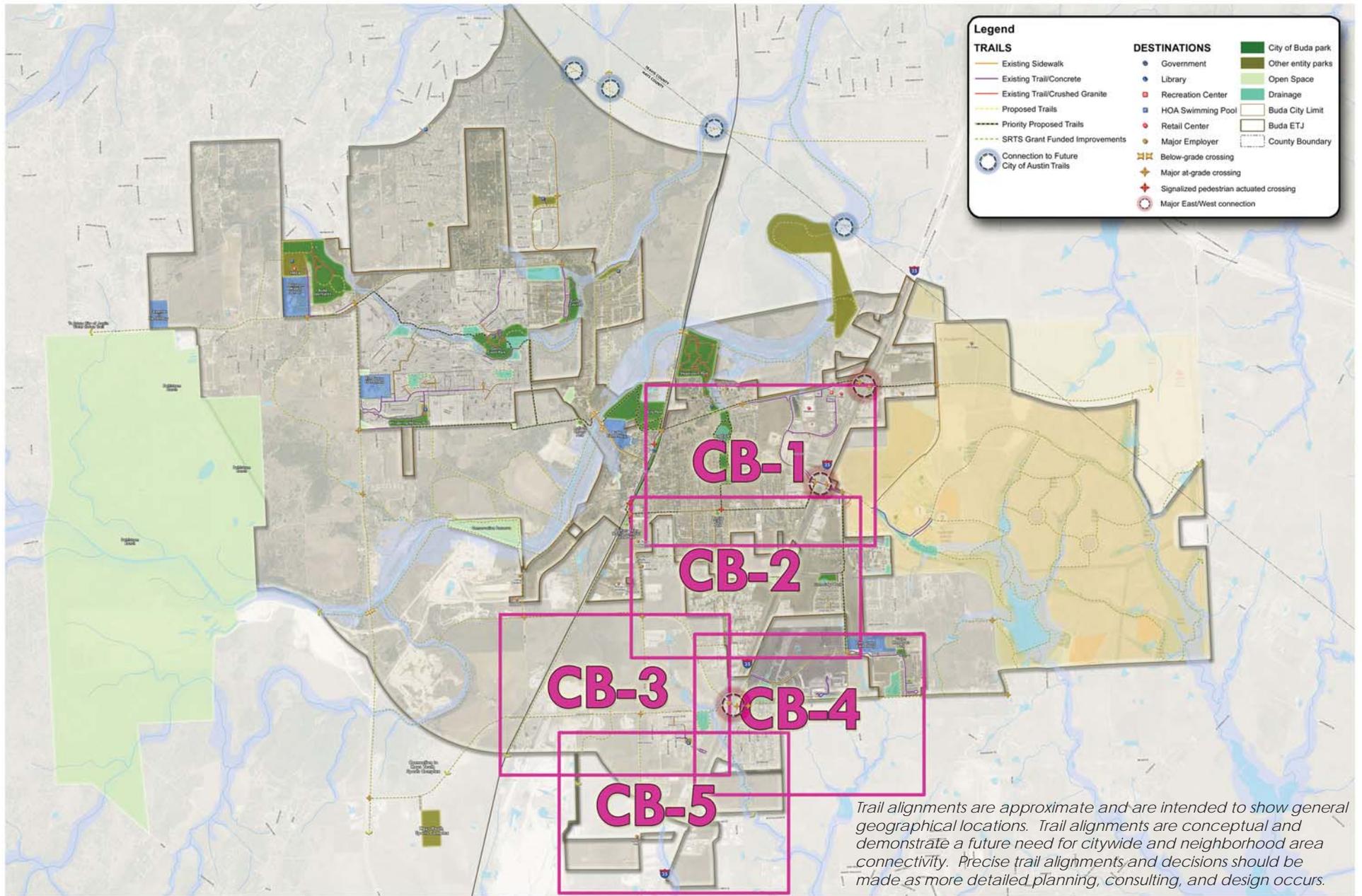


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
OC-7



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan





Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

GRAPHIC SCALE

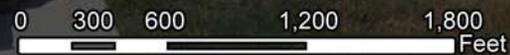
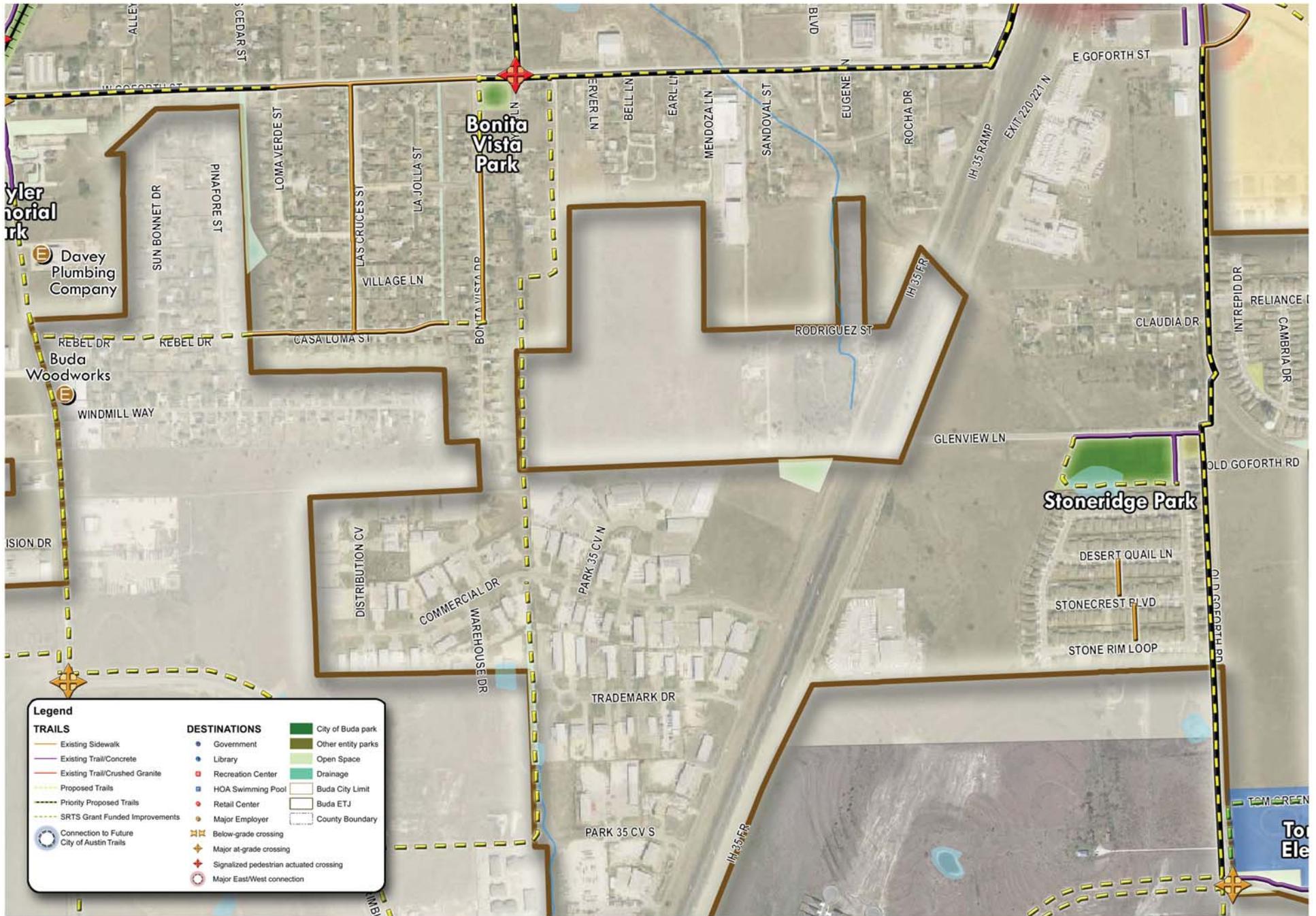


PLATE
CB-1



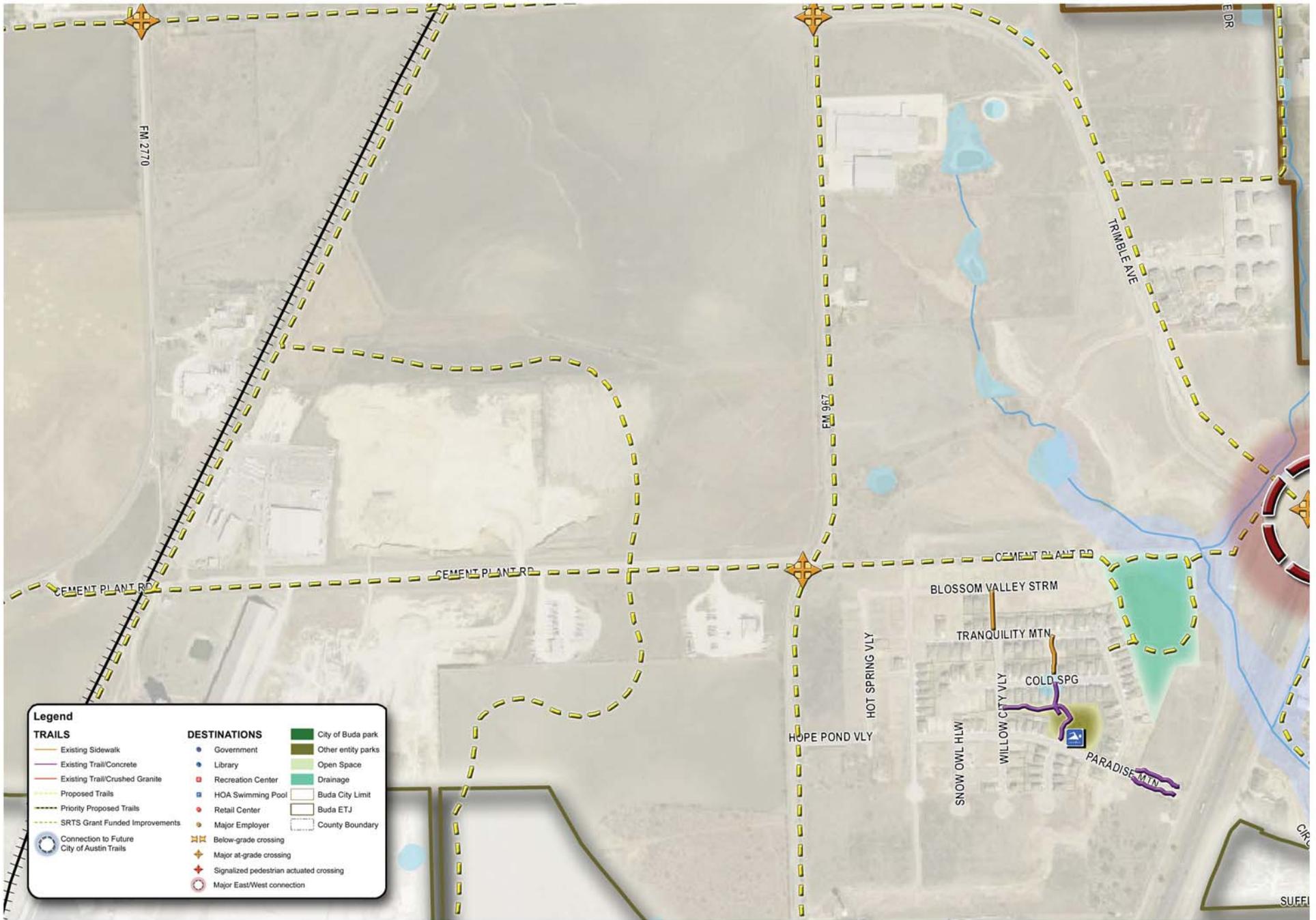
Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

GRAPHIC SCALE

0 300 600 1,200 1,800 Feet

PLATE CB-2



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
CB-3



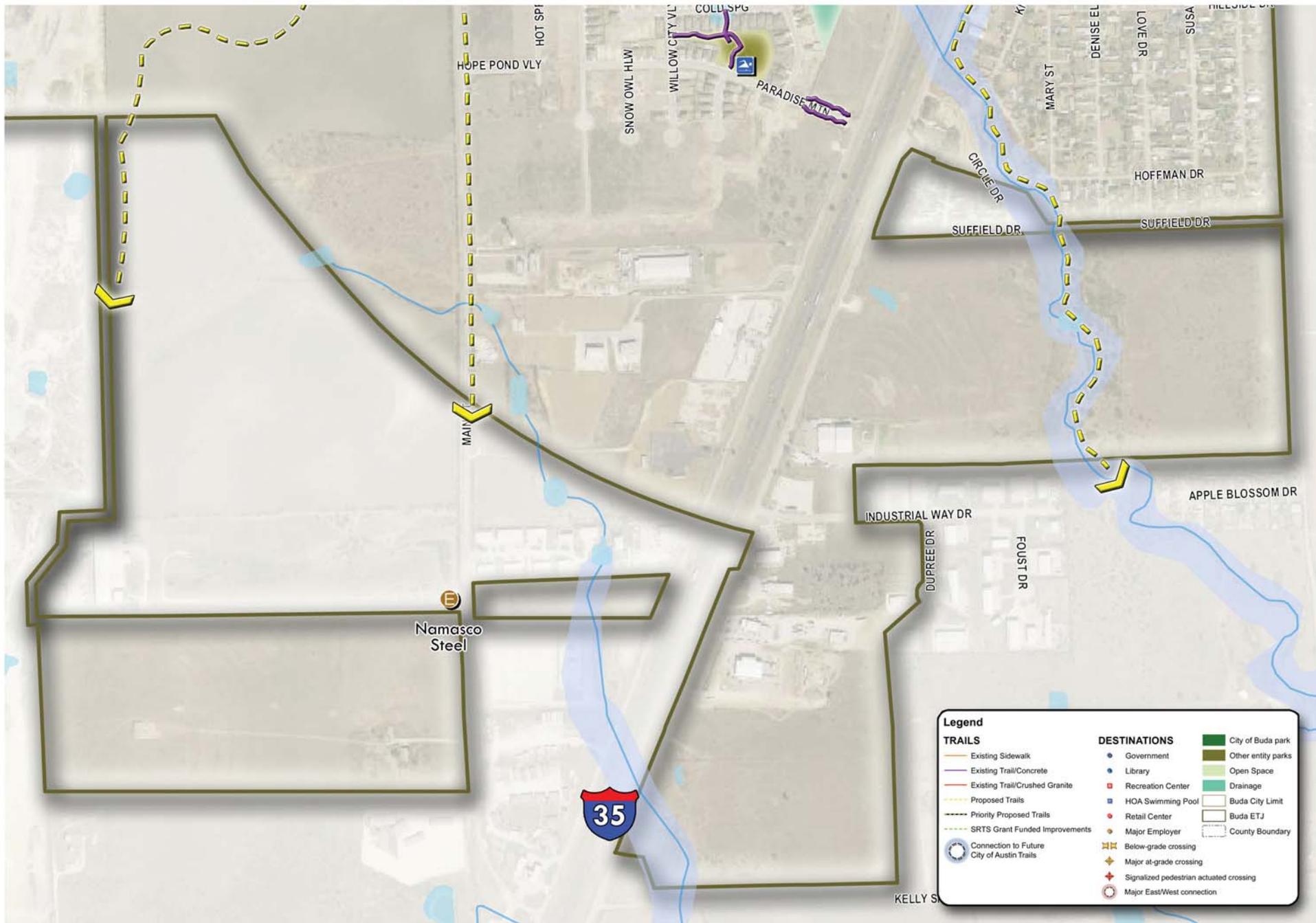
Legend

TRAILS	DESTINATIONS	Other
Existing Sidewalk	Government	City of Buda park
Existing Trail/Concrete	Library	Other entity parks
Existing Trail/Crushed Granite	Recreation Center	Open Space
Proposed Trails	HOA Swimming Pool	Drainage
Priority Proposed Trails	Retail Center	Buda City Limit
SRTS Grant Funded Improvements	Major Employer	Buda ETJ
Connection to Future City of Austin Trails	Below-grade crossing	County Boundary
	Major at-grade crossing	
	Signalized pedestrian actuated crossing	
	Major East/West connection	

Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

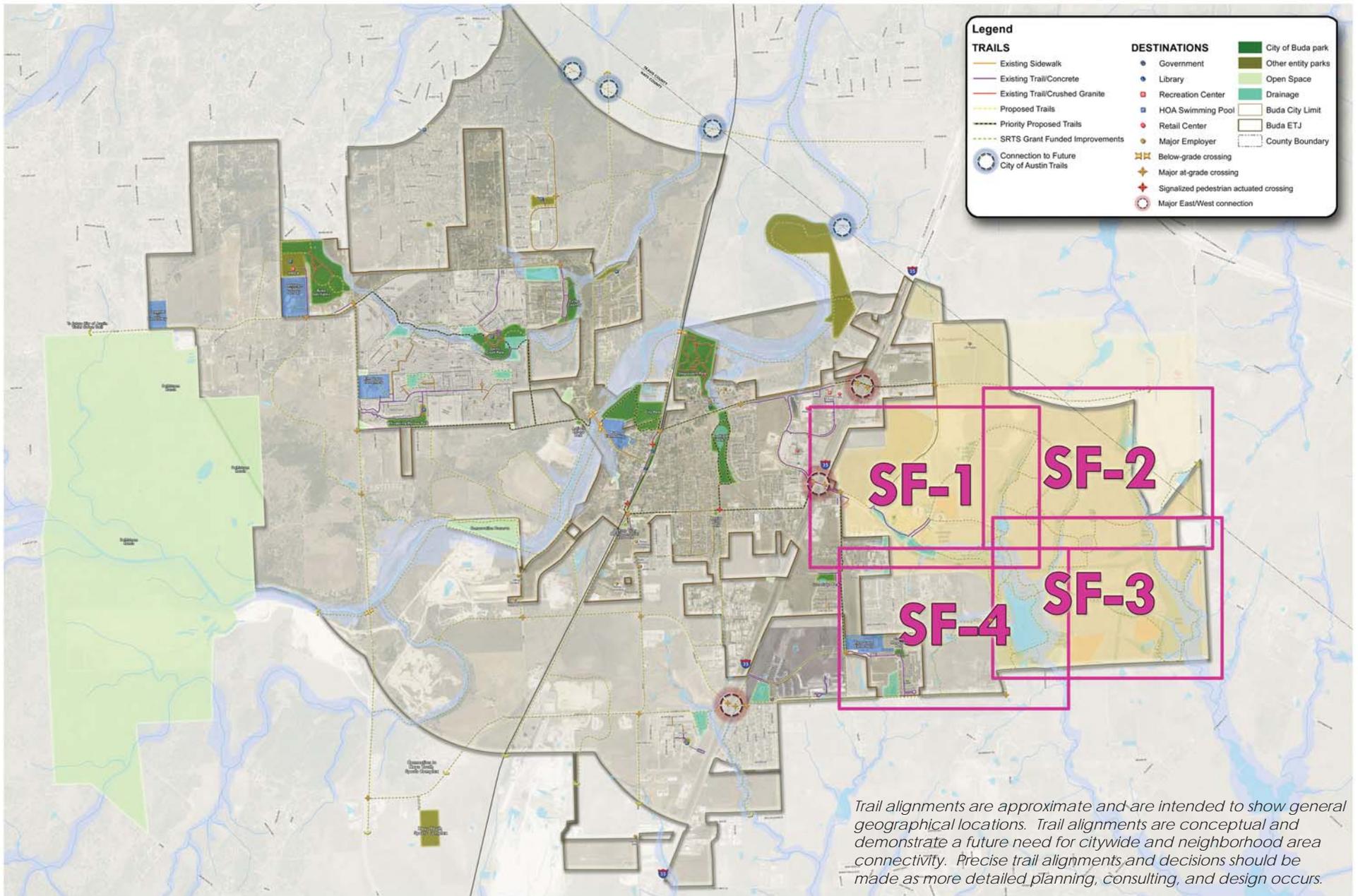




Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan

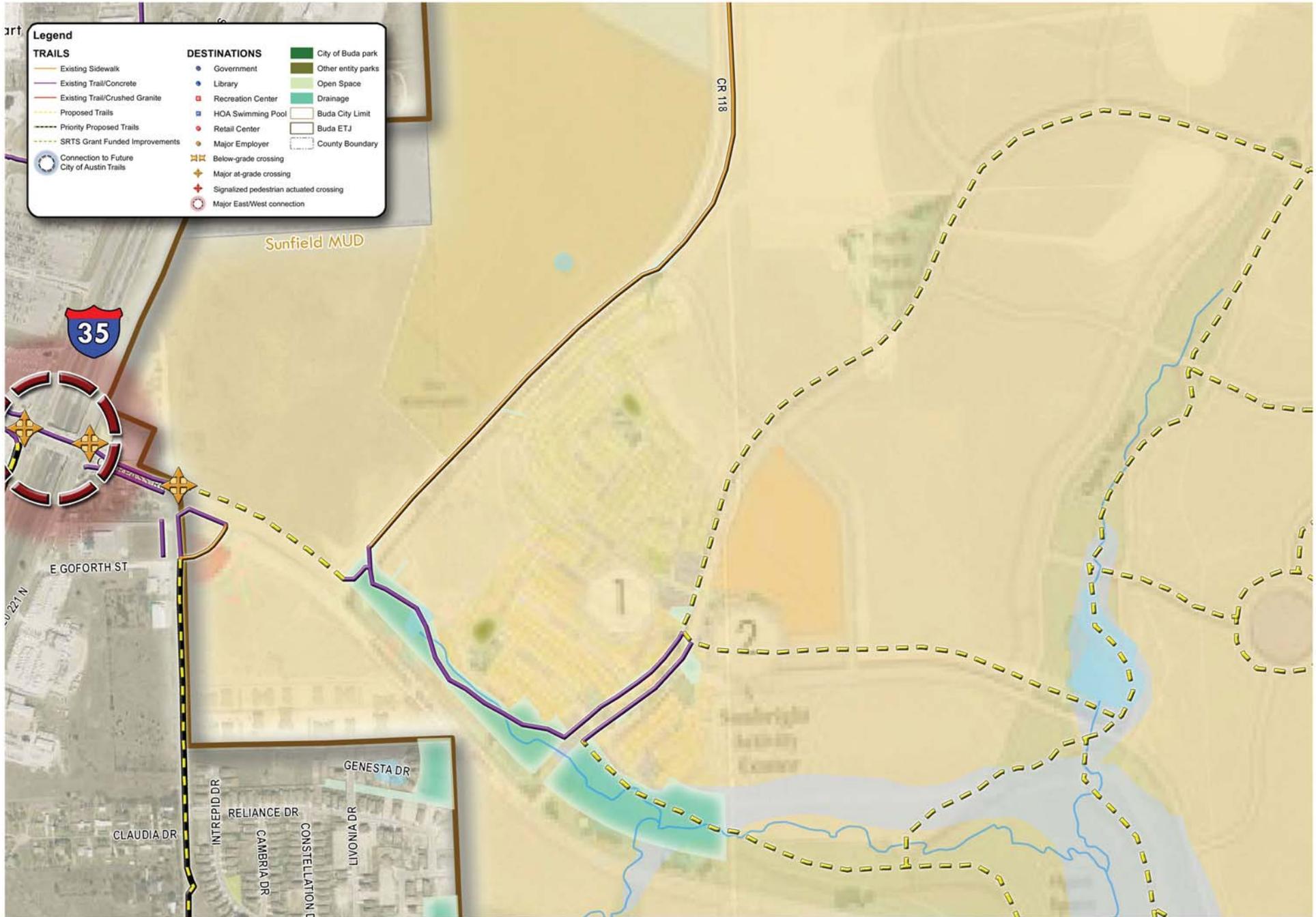




Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



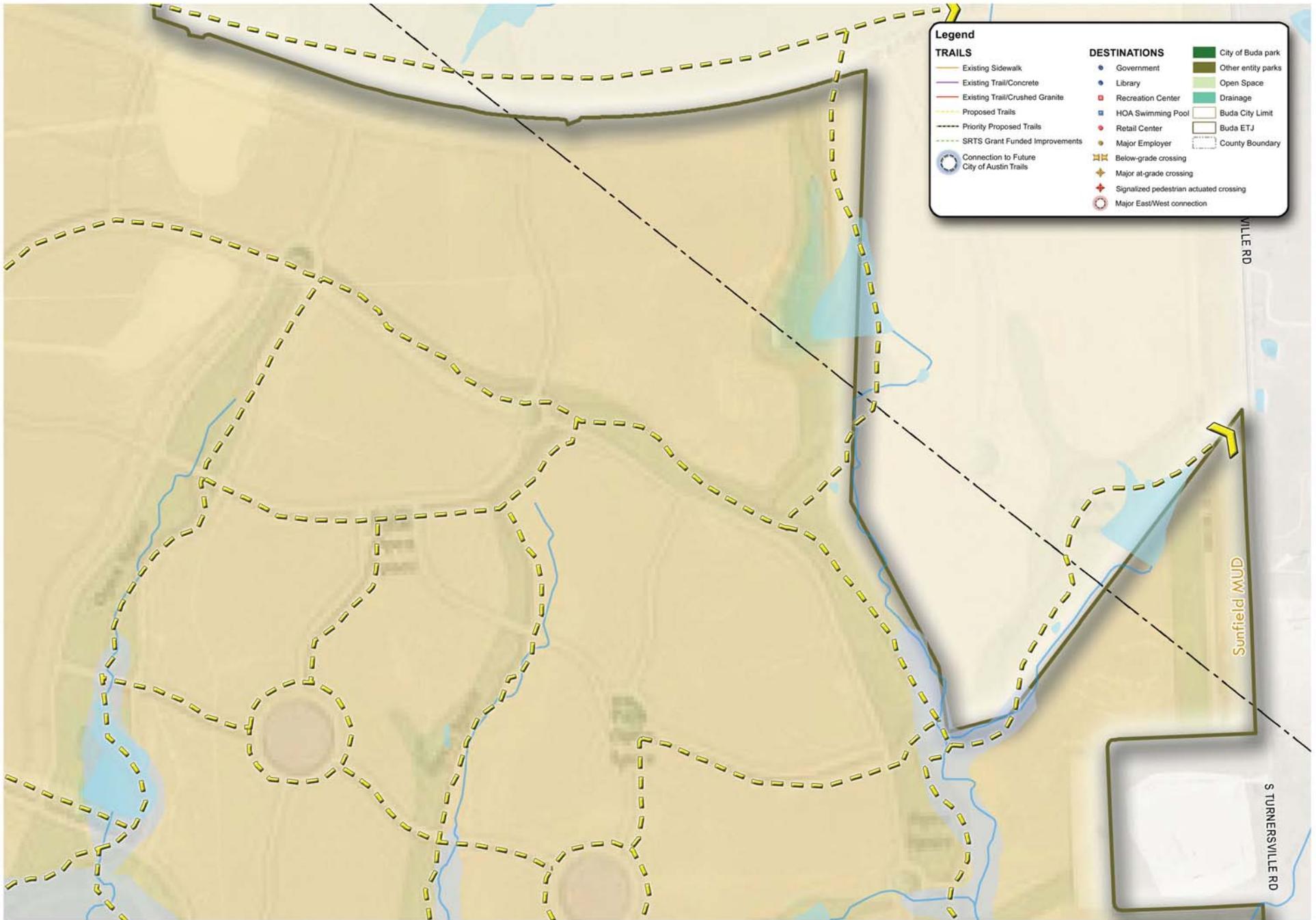


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
SF-1



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
SF-2

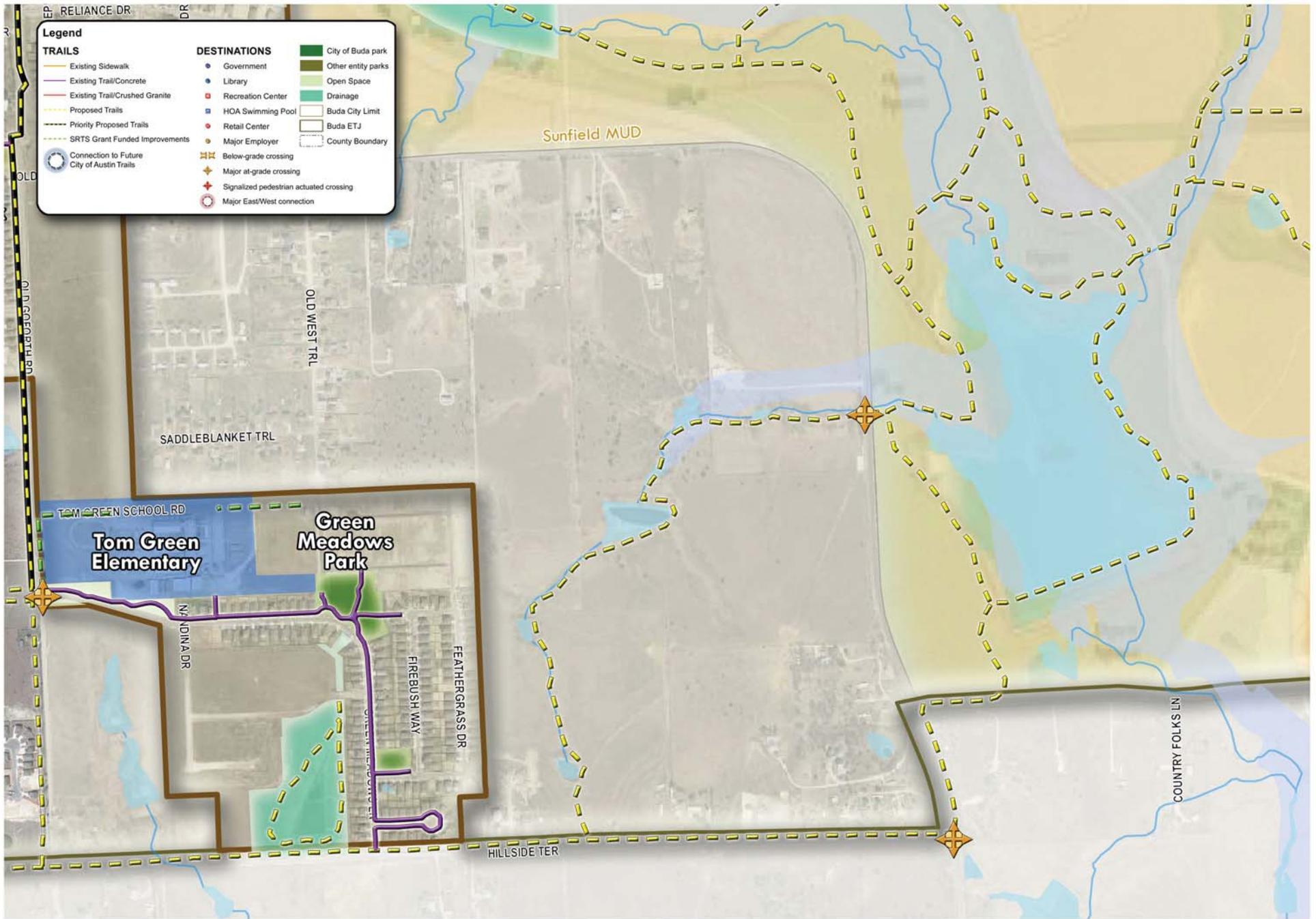


Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
SF-3



Proposed Trail Opportunities

Buda Parks, Recreation, Trails and Open Space Master Plan



PLATE
SF-4



APPENDIX C

meeting notes



KICKOFF MEETING WITH PARKS STAFF



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MEETING NOTES

To: Jack Jones, Parks and Recreation Director
From: Kimberly Annis, Halff Associates
Subject: Parks Master Plan, Kickoff Meeting
Meeting Date: January 10, 2012
Location: Park Dept. Office, Stagecoach Park
Minutes Date: January 13, 2012
AVO No.: 28596

Attendees:

- Jack Jones, City of Buda
- Jim Carrillo, Halff
- Kimberly Annis, Halff

Item	Description	Decision or Follow Up
1.	Maintenance Building <ul style="list-style-type: none"> • There is some bond money for a parks maintenance building. There is \$256,000 in Parks CIP. • We need something to cover the equipment, and would like an indoor space. Right now the maintenance building/storage is in the Public Works space. There is a good relationship between departments; they help each other when needed. • There is a concept/plan for a pre-fab building, and the location of where it should go. • They need an overall plan or concept for the entire Public Works maintenance yard/Water Plant site. There have been issues in the past of an odor from the plant while having events at City Park. • The current maintenance building for the Parks department is a little wing off the side of the Public Works building. The new building is proposed to be constructed just south of that towards the yard entrance. • There is a reclaimed water holding tank onsite where trucks can fill up with bulk water. Several construction trucks use it. 	<p>Jack sending consultant Parks CIP list.</p> <p>Jack sending consultant drawing/ concept plan for maintenance building.</p>
2.	City-owned properties <ul style="list-style-type: none"> • There is city-owned land around the current boundary of City Park. We want to show and count some of that as parkland. • There is city-owned property along the creek, just south of the existing trail next to the senior apartments. We want to show this as greenbelt open space. • Need plats for all city-owned property and parks • The city currently has 11 parks. • The Public Works department maintains all drainage, ROW and medians. 	<p>Jack sending consultants plats of city-owned property and parks.</p>
3.	Ordinance Review (Parks and Trails) <ul style="list-style-type: none"> • Amend the ordinance so that the City has ultimate say in where parkland is in new developments. We want the City to be able to choose where the park is during the platting process. 	

	<ul style="list-style-type: none"> • Floodplain should not count as parkland. • Trail ordinance should include language of when a property has a pedestrian easement or is city-owned, and who maintains the trail if along a pedestrian easement (City, HOA, developer?) • Review Flower Mound, TX parkland ordinance as a good go-by example. • Review Allen, TX trail ordinance as a good go-by example. 	
4.	Trails <ul style="list-style-type: none"> • There are trail concept plans for Stagecoach Park, Sportsplex, and Bradfield Park. • On the trail map for the master plan, we want to show existing and as either concrete or crushed granite. • On the trails map, we want to show >6 foot as a trail, and <4-5 foot as sidewalk connectors. • On the trails map, we want to list all schools, businesses, parks, city facilities, fire stations, neighborhoods, etc. as places to connect to. 	<p>Jack sending consultants concepts of Stagecoach Park and Bradfield Park, and construction plans for Sportsplex.</p> <p>Jack sending consultants any current easements for trail corridors.</p>
5.	Grants <ul style="list-style-type: none"> • City has received a Hays County grant for a 5 foot sidewalk trail along Main Street. • City has received SRTS grants. One is to connect downtown area to Buda Elementary. The second crosses Garlic Creek to connect 3 neighborhoods to Elm Grove Elementary. 	<p>Jack sending consultants grant plans/applications for Hays County grants, SRTS grants.</p>
6.	Upcoming public input/meetings <ul style="list-style-type: none"> • City Council meets next Tuesday (1/17) and Parks Commission meets next Wednesday (1/18). Try to get on both agendas to have kickoff meeting/work session with them. Want to get big picture ideas and goals for the master plan to accomplish, ask about 4-5 questions. One question would be if they are happy thus far with the parkland dedication ordinance. • We want to have first public meeting by early February. Potential dates could be February 2, 6 or 9. Meeting will be held at Buda Elementary in the Kunkel room. • The mail-out survey can then go out in the February utility bill. Survey must be completed for printing by February 10 (14th at the very latest). Utility bills mailed around 20th. Survey will instruct people to mail back/return to PARD office. We do not want to offer any incentives or prizes for completing the survey. We will create a flyer to put in utility bill this month advertising the meeting. • Stakeholder meetings – hold those during late January/early February <ul style="list-style-type: none"> • Chamber of Commerce, try to get on their meeting agenda next month. 	<p>Jack to confirm we can be on agendas for both City Council and Parks Commission.</p> <p>Jim to draft big picture questions to ask at kickoff meetings/ work session.</p> <p>Jack to confirm public meeting date and to secure location.</p>
7.	Whispering Hollow Park <ul style="list-style-type: none"> • Proposed to include a dog park. • Cannot access the parking lot off Coldwater Hollow, which is the main roadway leading to the park. Parking is access only off Old Black Colony Road. 	





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	<ul style="list-style-type: none"> The City owns a corner triangle piece of property. But it does not connect to the park. We would like to see if the city/voters would consider selling it. The neighborhood has a 5-6 foot trail connecting to the HOA center along Middle Creek Road and Wildhorse Creek Road, and then connecting to Elm Grove Elementary. 	
8.	<p>City Park</p> <ul style="list-style-type: none"> City Park has been designated as a festival park by City Council direction City Park is sometimes used a venue for outdoor weddings. It would be nice to add a message board/sign on the corner of Main and Garrison to advertise events instead of using the banners. Ask on the survey if people would be supportive or opposed to the sign. The park needs to be irrigated, preferably with reclaim water from purple pipe. The park was intentionally over seeded this winter because of the drought. Need to plan for the space currently behind park. Idea would be to take the existing fence line straight across to allow room for the Public Works department maintenance yard to expand. Then use area to the south of the fence line for special event parking. It would need more caliche so that it doesn't get as muddy and can be used for parking year-round. The parking lot should have curb stops. There is a natural low area in the park, behind the trees that would be a good location for an amphitheater. There is an opportunity to connect City Park to Stagecoach along Garrison Road. Trail could connect to existing Stagecoach trails just before the low water bridge. Restrooms in the park need to be upgraded. 	
9.	<p>Stagecoach Park</p> <ul style="list-style-type: none"> Sometimes used as a venue for outdoor weddings. The house which is now the Parks Department Office was built in 1885 and used as a depot stop. The old post office is behind the currently building, built in 1870s. We want to replant the trees that were lost during litigation and the drought. We want to somehow renovate Clint's Cab, remove the fence, and allow people to be able to see inside it. Amphitheater is used for concerts and weddings. The park has oak wilt, but the city has trenced and contained it with help of the Texas Forest Service. The trail in the park connects to the railroad We need to install lights around the house/office and parking lot. The city has two light poles already but they were never put in because of budget. There is a private gravel driveway to access the house that is off the park's main road. 	
10.	<p>Skate Park</p>	Jack sending



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	<ul style="list-style-type: none"> The city is getting its first skate park. We want the downtown trail to connect to it, but it will have to cross the railroad tracks. Skate park will be constructed on the property on the corner of Goforth Rd. at FM 967, along railroad tracks. Site is 10,000 square feet. The plans include parking, a restroom and lighting. 	consultants the plan for the Skate Park.
11.	<p>Bradfield Park</p> <ul style="list-style-type: none"> It needs a parking lot, that is the biggest complaint. There is space for a parking lot off Main Street. People park on the neighborhood streets and sometimes even block driveways. Fishing events are held at this park. Cabela's has demo days for their kayaks. Would like to have a trail that loops the entire park. Most of the trail would be crushed granite with some portions concrete, such as at the potential wash out locations. The trail should loop around both ponds. Next phased would be to create construction documents for the trail. A fountain is getting put into the middle pond, as part of a grant. The gazebo and median on the street next to the park is HOA property and maintained by the HOA. It is not part of the park. 	
12.	<p>Green Meadows</p> <ul style="list-style-type: none"> City owns the sidewalks connections to the school. We also own the property at the entrance to the neighborhood but the HOA currently maintains that. There is no sign at the park. There is no parking lot access off the main roadway, Green Meadows Lane. Parking is accessed from the drive behind the school. The park has irrigation but no electricity. The city also has a pocket park in this neighborhood with good tree cover and two benches. There is another small triangle piece of park property along the creek line with nothing in it. The city could possibly put in a playground. 	
13.	<p>Stone Ridge</p> <ul style="list-style-type: none"> The HOA maintains the little corner piece at the neighborhood entrance. The City maintains the park which is across the street. This park and neighborhood had recent graffiti. We need to add the practice soccer field to the amenity list. 	
14.	<p>Goforth Park</p> <ul style="list-style-type: none"> This was a detention area at one time, and it still retains water if it has to. 	
15.	<p>Greenbelt/Library site and gazebo</p> <ul style="list-style-type: none"> The farmers market is held on this site. There are a lot of events held here. But there are serious drainage issues that need to be addressed. 	





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16.	Cullen Country <ul style="list-style-type: none"> • HOA owns the entrance pond. The city park is on the other side of the street and that is what they maintain. • There are trail pieces in this neighborhood that need to be mapped. The trail connector through the middle of the neighborhood is considered city park property. 	
17.	Garlic Creek <ul style="list-style-type: none"> • This is technically a city park around the playground area, but the HOA maintains it and mows it. The city will fix any amenity if needed. • The existing trail loops behind the amenity center. This needs to be shown on the trails map. 	
18.	Sportsplex <ul style="list-style-type: none"> • The master plan of this park has an additional 4 more baseball fields near the entrance. • There is a small maintenance shed for this park and the equipment used. • There is a good relationship with the YMCA. 	
19.	Old Black Colony Road <ul style="list-style-type: none"> • The City owns about an acre of property along this road. • An eagle scout create a resting area with a historical marker, crushed granite road, and the park maintenance placed limestone bollards. 	

This concludes the Meeting Notes. Our goal is to provide a complete and accurate summary of the proceedings of the subject meeting. If you feel that any of the items listed above are not correct, or that any information is missing or incomplete, please contact Halff Associates so that the matter can be resolved, and a correction issued if necessary. These notes will be assumed to be correct and accepted if we do not hear from you within ten (10) calendar days from your receipt.



KICKOFF MEETING WITH CITY COUNCIL



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MEETING NOTES

To: Jack Jones, Parks and Recreation Director
From: Jim Carrillo, Halff Associates
Subject: Parks Master Plan, City Council Kickoff
Meeting Date: January 17, 2012
Location: Buda City Hall
Minutes Date: January 19, 2012
AVO No.: 28596

Attendees:

- Jack Jones, City of Buda
- Buda City Council
- Jim Carrillo, Halff

Item	Description	Decision or Follow Up
1.	Good Qualities <ul style="list-style-type: none"> • Ratio was poor, now very good. • So much space • Great parks, lots of diversity i.e Bonita Vista has evolved well over time • Canopies over park facilities • Variety of equipment – Stone Ridge Park small and large kids heavily used pavilion • City park pavilion – used a lot. BB counts for teens. Something for everyone. • Stagecoach has great trails. Nice restroom facility. • Bradfield – fishing ponds • HOA parks available to all citizens like Stagecoach. City park as Festival Park • Different park for everyone • Lake connectivity • Well thought out, suitable for neighborhoods • Lots of open space (undesignated) • City commitment has been a real asset. Strong support staff for the system. • Now adding skate park, addresses tweens. 	
2.	Not so good <ul style="list-style-type: none"> • Non connectivity between parks • More purple pipe for irrigation • Pavilion in each of the parks (should be requirement) • Need benches / places to sit • Cover play scapes (i.e. Garlic Creek) • Parking at Bradfield • Dedication vs. in-lie of in ordinance • Dedication of too many small pokes • No way to hike and bike • City doesn't sell it's parks well 	

	<ul style="list-style-type: none"> • Landscape in Stagecoach • Heat issue 	
3.	CC <ul style="list-style-type: none"> • #1 enhance what is in each park (i.e. fishing in Bradfield Park) • #1 Connectivity • #2 Parking at Bradfield • #3 Purple pipe • BL #1 Signs with hours at every park 	
4.	Trails <ul style="list-style-type: none"> • Bradfield to Main Street, City Park and across to pocket park on East. • Main Cove of the city • Fitness stations – special for teens • Connect 2 at a time, make it reasonable • Main Street to Go Forth, look at Right Of Way • Connect sportsplex, include in 967 upgrade • Piecing it together 	
5.	City Park <ul style="list-style-type: none"> • Not so sure about pool • Would like splash pad at City Park • Ballroom upgrade at City Park • Add another at City Park, trees and shade, grills, benches at City Park • Rethink upper pavilion • Access from upper hill • Expand parking area • Better thought out park • Grass trees and purple pipe • Grass on dirt in the park? Balance? • Not pool in the City Park but some water feature • Bathrooms, more and separated • Explore events area more • Handicap accessible (everything must meet this standard) 	

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KICKOFF MEETING WITH PARKS & RECREATION COMMISSION



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MEETING NOTES

To: Jack Jones, Parks and Recreation Director
From: Jim Carrillo, Half Associates
Subject: Parks Master Plan, Parks Commission Kickoff
Meeting Date: January 18, 2012
Location: Buda City Hall
Minutes Date: January 19, 2012
AVO No.: 28598

Attendees:

- Jack Jones, City of Buda
- Buda Parks Commission
- Jim Carrillo, Half
- Kimberly Annis, Half

Item	Description	Decision or Follow Up
1.	Good <ul style="list-style-type: none"> • Number of parks – Stagecoach trails, fisheries (Bradfield) are other standard open areas at City Park • Availability for events, brings a lot of people to Buda, places to congregate • Play scapes at City Park • Free programs at Y • Very good maintenance, even with limited manpower 	
2.	Not so good <ul style="list-style-type: none"> • Festivals always on west side • East side events • Look at transportation from east side, not wheel chair accessible at City Park (No HC parking) • Community events center – especially for youth. May be center to play pool, controlled environment. They need quality reinforcement. • Y Cost and location • Few doggies way stations • No lights at sports complex 	
3.	Ideas <ul style="list-style-type: none"> • Splash park • Creek side pool • Where – City Park - Garlic Creek • Sports bar? • Gazebo needs to be updated • Also more benches and seating at Greenbelt • Bike lanes – make bike riding easier 	
4.	Things for adults <ul style="list-style-type: none"> • City League (softball) • Sand Volleyball • Shuffle boards 	

<ul style="list-style-type: none"> • Flag football • Dahlstrom has tennis courts (but they are locked) • No golf course (maybe 9 hole course) • Frisbee gold course • Driving range • No city sponsored leagues • Programs like yoga/zumba – City sponsored • Need agreement with school district • Tom green has gyms • Need nice announcement board at City park – nicely landscaped • Library needs to be accessed via trails • Stone ampatheater (like at South Park Meadows as model) • Sound system at City Park • Need covered seating for parents near playground • Signage to tell about wifi • Increase parking • Annual HOA • Chamber of Commerce • YMCA • US Foods • Cabelas Buda Pharmacy • Social Media – Facebook • Churches • Over the street banners 	
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CITY PARK FESTIVAL ORGANIZERS FOCUS GROUP



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MEETING NOTES

To: Jack Jones, Parks and Recreation Director
From: Kimberly Annis, Halff Associates
Subject: City Park festival stakeholders interviews
Meeting Date: May 7, 2012
Location: Buda City Hall
Minutes Date: May 17, 2012

AVO No.: 28596

Attendees:

- Sharon Bibbee
- Mike & Tammy Jackson
- Robert Gan
- Bret Kiesten
- Joellen Simmons
- Frankie Hoch
- Clay Huckaby
- Nancy Handrick
- Charles Handrick
- Rick Parsonns
- Eileen Conley
- Alan Robinson
- Jack Jones, City of Buda
- Jim Carrillo, Halff
- Kimberly Annis, Halff

Item	Description
1.	<p>Lions Club</p> <ul style="list-style-type: none"> • 9,738 patrons – that's paid tickets which doesn't include children. • Want to improve the in-flow/out-flow (ingress and egress). • They want to be able to park at least 1,500 cars at any given time past the ditch. • They basically have 3 events within their festival – crafts, dog races, and BBQ cook-off. • They accommodate 5,000. • They want an enclosed fence (with entrance panels). They rent a fence every year, costs about \$3,000 per year (\$1 per foot). • They want an amphitheater, ideally down in the lower part to force people to come in so the event makes money. Ideally it would seat 2,500 people. (but it has to accommodate the dog race track, it's long). • They pay \$8,000 for bleachers every year, which seats about 600 people. • Need sources of water, especially for food vendors. • Need electricity, like light poles. • They want eating facilities, permanent tables and chairs. • Need a restroom that can accommodate 5,000 people. Then have portables around the outlining areas. It costs them \$2,200 per year to rent 38 deluxe & 2 handicapped portables. • They want a PA system throughout the park – for safety/ emergency/schedule changes/lost children, etc. • They want more grass and trees – improve the overall beauty. • They would like some way to advertise – marquee, electronic board sign like in front of Falcon Bank. If it can't be electronic because of current code (historic downtown reasons) then can it be just an old fashion message board? Then put an electronic board on IH-35. Especially since the banner company isn't doing the banners anymore. • The food vendors need concrete, covered serving area/pavilion area. The food code is hard to follow because of the park. • Parking is a major issue. They shuttle now.

2.	<p>Hill Country Wildflower Festival</p> <ul style="list-style-type: none"> • They are moving their festival to March next year, instead of April. • They need infrastructure – water and electricity. • They would like an enclosed pavilion. It would cut down on dust, it could bring Christmas festivals in the winter. If it couldn't be enclosed, then provide temporary tarps. • Build enough restrooms to be used for the festivals then lock and close them when we're not having a festival. • Need an outside cooking area for vendors. • This year was their first time at Buda City Park. • They would like the city to invest in signs, poles, electronic signs, plant trees, fertilize grass. • They like the idea of natural water storage and rain collection. • They want parking on-site. • They would put the festival on Main Street, if possible. The downtown streets are better. Chapel Hill closes their Main Street for festivals.
3.	<p>Fire Fest</p> <ul style="list-style-type: none"> • They rent 40 portable restrooms per year for festival. • They pay \$80,000 per year to put on their festival (\$50,000 to rent infrastructure and \$30,000 for entertainer). • Parking is an issue. • Is it possible to change Garrison Road so it's divided? Having 4 streets at the railroad is the worst plant for an entrance to the park. There is poor access in and out of the park. • They are strongly considering moving to The Backyard, and leaving Buda for their festival. • They have to build an entire event at City Park. It's a whole production for them – fence, portable restrooms, stage, seating, etc. • There is lack of ADA accessibility at City Park.
4.	<p>Fine Arts Festival</p> <ul style="list-style-type: none"> • Their festival is at the gazebo, not City Park, because of the dust. The greenbelt has grass to cut down on the dust, City Park doesn't. • They want to expand the festival, either into the park or onto the downtown streets. • They want an indoor/outdoor multi-purpose room. Some of their vendors need to be indoors. They lost some artists because they don't exhibit outdoors. • They spend all their money on renting infrastructure. It costs them about \$20,000 to do an event on the greenbelt. • The library lets the festival organizers come inside to use the restroom and wash their hands. • Wimberley is a great example of a downtown art festival. They have a community building to use. • There needs to be more ADA restrooms • They pay an electrician to set up the tents, plug-ins. They want a permanent electrical setup. • They have 50-55 artists and food vendors. They are limited on space and can't accommodate more. • They want to have a jazz festival as part of their festival this year. • There is terrible drainage at the greenbelt. They were totally rained out two years in a row. • They want to add sculpture throughout the City. And have monthly art around town. • There is bad parking. They can only accommodate 2,000-3,000 people.





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PUBLIC HEARING FOR CITY PARK AND TRAILS PLAN



	<ul style="list-style-type: none"> • There are ants! • It would be nice to close Main Street during the festival and exhibit out there too.
5.	<p>Buda Fest</p> <ul style="list-style-type: none"> • They are the longest running festival – 35 years. • They have 120-125 arts and crafts vendors. But people shop in the whole downtown area. • They are closing the street from FM 967 to the railroad, which puts the vendors in the street. • They have a parade in the morning and a carnival in the park all day. • They don't provide tables, chairs or electricity. Their costs are for police, redirecting traffic, and entertainment. They want to route traffic around downtown during events, like Roanoak. • If the festival was at the park then people wouldn't go into downtown. They want it manageable.
4.	<p>General Comments</p> <ul style="list-style-type: none"> • They City need to research what the economic benefits of the events are to the City. What does the City really want in terms of festivals, and how big? • The events at City Park don't follow code, especially in terms of emergency management. The park has too many limitations right now that the festivals just can't. • The festivals are paying more for police than ever before. • The non-profits now have a reduce fee rate to use the park. But they are still spending too much in fees (especially police fees). And the money from the event goes back into the community anyway. • The events in Austin want to find another place. So having a festival park would attract events year round. There are 167 events in central Texas from early March to late May. • Look at the commercial sector for sponsorships. • Downtown has to be revitalized to help the events. • The city needs a clear event packet for festivals.
5.	<p>Number One Improvement Needed</p> <ul style="list-style-type: none"> • Parking • Enclose the pavilion • Beautification of park* • Better roads in and out* • Trees/shade and grass* • Improve ingress and egress** • Multi-purpose building • Better drainage at the greenbelt • Fence and hide City maintenance buildings

This concludes the Meeting Notes. Our goal is to provide a complete and accurate summary of the proceedings of the subject meeting. If you feel that any of the items listed above are not correct, or that any information is missing or incomplete, please contact Halff Associates so that the matter can be resolved, and a correction issued if necessary.

Parks and Recreation Commission MINUTES August 29, 2012

The following represents the actions taken by the Buda Parks and Recreation Commission in the order they occurred during the meeting. While the minutes may not be in sequential order, all agenda items were discussed. The Parks and Recreation Commission of Buda, Texas, convened on Wednesday, August 29, 2012 at City Hall, 121 Main St., Buda, TX.

A. CALL TO ORDER
Call to order at 6:34 p.m.

B. ROLL CALL
Debbie Dulski (Chair) – Present
Shirley Malone (Elected Vice-Chair) – Present
Nancy Hart – Present
Kim Howell – Approved Absence
Vincent Lecca – Present
Pam Lombardo – Present
Jennielle Strother – Present

C. PLEDGE OF ALLEGIANCE

D. ANNUAL ELECTION OF A CHAIR AND VICE-CHAIR
Commissioner Hart motioned to elect Commissioner Dulski for the Chair position, seconded by Commissioner Strother. Motion Passed 6 -0.

Commissioner Hart motioned to elect Commissioner Malone for the Vice-Chair position, seconded by Commissioner Dulski. Motion Passed 6 -0.

E. PUBLIC COMMENTS
None.

F. CONSENT AGENDA
1. Approval of the Parks and Recreation Commission Meeting Minutes, dated July 18, 2012.
Motion by Commissioner Hart, seconded by Vice Chair Commissioner Malone to approve minutes. Motion Passed 6 -0

G. WORKSHOP

1. Presentation and discussion, with public input, regarding a preliminary draft of the City Park Master Plan.
Jack Jones, Director of Parks and Recreation, briefed everyone on the process of preparing the City Park Master Plan. He explained that the plan will be implemented based on availability of funds. Jim Carillo of Halff & Associates gave a presentation of City Park Master Plan. Jim informed everyone



of City Council's desire to create City Park as a festival park and a better everyday use park. Jim described a few features in the "everyday use area" of the park including a sand volleyball court and an expanded playground. Jim stated that typically the average population of a city that builds a pool is 20,000 residents in order to support it. He stated that maintenance costs of a pool are high and revenue is about 40 - 45%. The city needs to grow and that a pool is more of a longer term element but offered up a splash pad for more immediate needs. Jim explained the "festival area" including an amphitheatre, with permanent seating of about 700 - 1,000 and grass seating up to 3,000. It will have a wiener dog race track, different seating options, additional open "sheds" next to the large pavilion for a more structured/organized area for events, and a community center for various uses. Jim mentioned that parking is an issue and said the plan has incorporated about 300 permanent parking spaces and has the flexibility to use grassy areas if needed for overflow parking. A frisbee golf course is ideal for grant funding. He described the park road that goes around the park, stating it will help with traffic control before and after events. The projected cost of the overall plan as proposed is anywhere from \$3.8 - \$5 million depending if all options are chosen and with the city constructing the parking area and the road. Commissioner Lecca suggested that the city could look at other open areas for parking such as Santa Cruz Catholic Church for large special events. Jack Jones mentioned that a pool could be added as a place holder. He stated that pools are only open May to September and that splash pads could be open almost year around. He said that having a pool would require at least 100 parking spaces. Commissioner Lecca suggested solar lighting of some sort throughout the park and/or anything "Green". Commissioner Dulski asked that a community garden be added to the plan.

The following were public comments received:

Eileen Altmiller (former Parks and Recreation Commissioner) commented that the plan is coming along and she is glad there aren't a thousand parking spots. She would like to see a pool and more restrooms. She listed all the subdivisions that do not have access to a pool as well as the ETJ. She thinks the plan really needs to include the pool and to see to it that plan is actually implemented.

Tommie Poer (long time Buda resident) commented that she feels there are still too many parking spots for the four festivals that are held. She thinks the amphitheatre needs to be bigger.

Beth Hagan (former Parks and Recreation Commissioner and Chair) commented that she thought there are too many parking spots. She wants a pool on the plan even if it isn't implemented in the near future. She worries that it will be long forgotten if it isn't on the plan. She likes the wetlands on the plan. She would like park updates via email.

Bonita Gunn (former Parks and Recreation Commissioner) commented that she loves the draft plan. She agrees with the plan's allotted parking spaces. She does not feel the city has the tax base for a swimming pool and thinks the splash pad is an excellent alternative.

Jason Patterson (resident who lives across from City Park) commented that he felt there needs to be more parking spaces. He suggested a parking garage. He feels the library will not be able to handle the needs of our growing city in the very near future. He worries about the noise level for festivals. He wants noise ordinance to be addressed before building amphitheatre. He suggested a "directional" sound system for festivals.

Sarah Reynolds (mother of 2 and avid park goer) commented that she loves Buda and plans to raise her children here. She loves the plan, especially the splash pad and thinks it will bring a lot to Buda.

John Montez (resident who lives in historic downtown Buda) commented that he likes the parking lot. He likes that the green area can double for parking and sports practice. He would like a

pool and noted that he has seen smaller cities with pools. He would like to see a nature center with native plants used and plant identification. He would like a rain catching system on the pavilion. He asked what type concrete will be used for the trail system. He is an avid jogger and would like to see permeable concrete as it is easier on knees and allows water to get through.

Eric Patterson (resident) commented about concert noise and the noise ordinances. He feels the level must be set very high and asked if any consideration is being given to residents that live in that part of town. Jack Jones, Director of Parks and Recreation, answered stating that the ordinance is set at 80 decibels and that testing has been done from previous concerts and resulted between 65 and 75 decibels. He said that other cities have noise ordinance limits lower and higher than 80 decibels. He added that the direction of the amphitheatre could be pointed away from downtown, more to the north and east.

Mary Giberson (long time Buda resident) commented that she loves the plan and really likes the trail connectivity throughout Buda.

Jennifer Brook-Davidson (pastor at St. Elizabeth) commented that she would like to see a community garden.

2. Presentation and discussion regarding a preliminary draft of the Trails Master Plan.

Jack Jones, Director of Parks and Recreation, stated that this is the first Trails Master Plan the city has put together and that the city is going to incorporate trails into future subdivision development ordinances. Jim Carillo of Half & Associates mentioned that the city currently has some trails and that ultimately these will all connect. Jack mentioned that FM 1626 construction is about to start and sidewalks will be included near Elm Grove Elementary School. Jim said that connecting the east side of IH 35 to the west side is a priority and from FM 2001 all the way to downtown Main Street, as well as, from Dahlstrom Middle School to downtown. The overall trail plan has roughly 40 miles of trails and there is a lot to work on. Jack mentioned that crushed granite trails are washed away and rutted out every time it rains, weeds grow in it, yet it is a nice surface for people to walk and exercise. Jack mentioned that an "Adopt-a-park" program would be a good idea for weeding playgrounds and trails. City Council member Todd Ruge encouraged everyone to come to City Council meetings and speak up or email them about things that they feel are important. He pointed out that implementing the plan will depend on funding or perhaps a bond election that will need to pass the first time around.

3. Presentation and discussion regarding the downtown gazebo located on the Greenbelt.

Jack Jones, Director of Parks and Recreation, informed Commissioners that City Council is concerned about the look of the library and the gazebo. He said they look good driving by but up close they both need work. The gazebo needs a fresh coat of paint and a new roof. Jack is putting in a grant request to the Buda EDC for the gazebo. They can fund improvements for the downtown area up to \$5,000. The city will put approximately \$5,000 for a total of \$10,000 to repair the gazebo. Jack asked everyone to attend the meeting for the grant on September 10 at 6 p.m. over at the EDC office. He is hoping to get this done before Formula One visitor's come to town. Jack said he will email everyone regarding the meeting.

H. STAFF REPORTS

1. Review and discuss the August Project Status Report.

Jack Jones, Director of Parks and Recreation, informed Commissioners that he has not presented the new park rules to City Council yet. He is going to sometime after the new budget is adopted next month. He said a new mower was purchased to replace an old worn out one with City Council approval. New woodchips were purchased to add to playgrounds in various parks for safety issues. Commissioner Hart asked if the Parks Maintenance Building is still on hold due to the Bonita Vista



Road improvements. Jack told her it was due to a current lawsuit. Jack updated Commissioners on the Skate Park Buy-a-Brick program stating that about 20 bricks have been purchased thus far. Commissioner Lecca asked that an email be sent to all HOA's to distribute the program better. Jack would like some businesses to buy some bricks and will add it to the city website, as well as, distribution to the schools. Jack said that the Buda Fine Arts Festival is coming up in October, in conjunction with a new event "Taste, Sip and Savor" that is a tasting of area restaurants and wines.

I. FUTURE AGENDA ITEMS

None.

J. ADJOURNMENT at 9:00 p.m.

Motion by Commissioner Dulski, seconded by Commissioner Lecca to adjourn.
Motion Passed 6 -0.

Danny Batts, City Secretary





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